

TAKE 5 OIL CHANGE

4440 Market Street

Wilmington, NC 28403
 PARCEL ID# R 04914-005-004-000,
 R 04914-005-003-000
 Zoning: RB

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LOCATION MAP
 SCALE: 1"=1000'

CONTACTS:

DEVELOPER:
 BENJAMIN SYPUT, DEVELOPMENT DIRECTOR
 WILMINGTON-MARKET T5, LLC
 106 FOSTER AVENUE
 CHARLOTTE, NC 28203
 724-759-2683
 ben.syput@durbangroup.com

PROPERTY OWNER:
 CAREY E. GRAHAM, PRESIDENT
 OCEAN PARK DEVELOPERS, INC.
 4722 HIGHWAY 17 BYPASS SOUTH
 MYRTLE BEACH, SC 29588
 843-293-7050
 carey.graham@landsouth.net

CIVIL ENGINEER:
 BARRY M. FAY, PE
 AMERICAN ENGINEERING ASSOCIATES - SOUTHEAST, PA
 8008 CORPORATE CENTER DRIVE
 SUITE 110
 CHARLOTTE, NC 28226
 704-375-2438
 bfay@american-ea.com

SURVEYOR:
 C. GARY BROOKS, PLS
 C.G.B. ASSOCIATES, PLLC
 124 W. LAWYERS ROAD
 MONROE, NC 28110
 704-754-0867
 gbrooks.cgbassociates@gmail.com

UTILITY CONTACTS:
POWER: DUKE ENERGY PROGRESS
 800-452-2777

CABLE/TELEPHONE: SPECTRUM
 1-855-261-7300

WATER AND SEWER: CAPE FEAR PUBLIC UTILITY AUTHORITY
 910-332-6550

GAS: PIEDMONT NATURAL GAS CO.
 1-800-752-7504

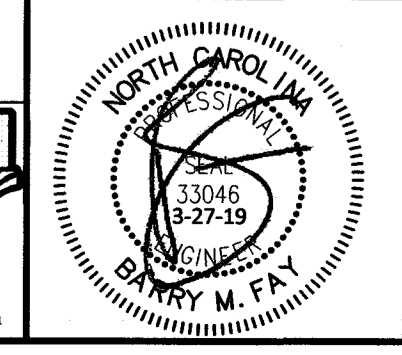
NOTE:

1.) CONTRACTOR TO MAINTAIN RECORD DRAWINGS OF ALL CHANGES THROUGHOUT CONSTRUCTION. AFTER PROJECT COMPLETION THESE DRAWINGS SHALL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE.

Approved Construction Plan		
Name	Date	
Planning	cmc 3-27-2019	
Traffic	W. Smith 3-29-19	
Fire	James Merrill 3-28-19	

City of WILMINGTON
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: 3/28/19 permit # 2019018
 Signed: Jack Christian

North 811
 *** 3 Days Before Digging ***
 North Carolina 811
 811 or 1-800-632-4949
 Remote Ticket Entry
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STIPULATION FOR REUSE

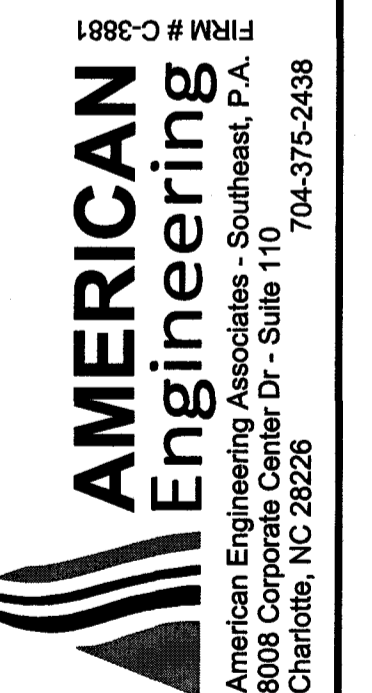
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TAKE 5 OIL CHANGE
 Wilmington - Market T5, LLC
 4440 Market Street
 Wilmington, NC 28403

MODIFICATION LOG

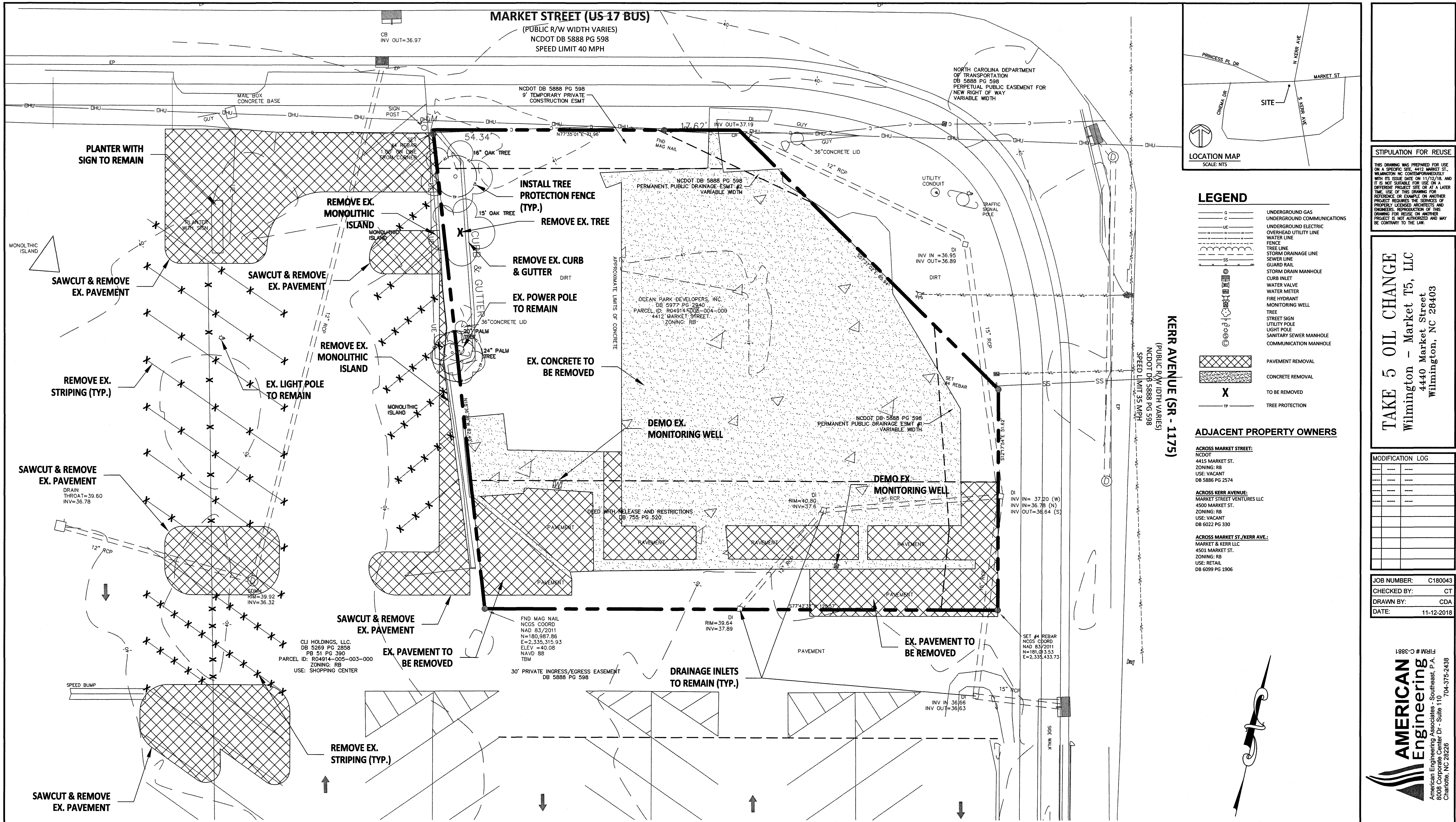
NO.	DATE	DESCRIPTION

JOB NUMBER: C180043
 CHECKED BY: CT
 DRAWN BY: CDA
 DATE: 11-12-2018



COVER SHEET

SHEET: **C1.0**



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LEGEND

- G UNDERGROUND GAS
- C UNDERGROUND COMMUNICATIONS
- UE UNDERGROUND ELECTRIC
- OVERHEAD UTILITY LINE
- WATER LINE
- FENCE
- TREE LINE
- STORM DRAINAGE LINE
- SEWER LINE
- GUARD RAIL
- STORM DRAIN MANHOLE
- CURB INLET
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- MONITORING WELL
- TREE
- STREET SIGN
- UTILITY POLE
- LIGHT POLE
- SANITARY SEWER MANHOLE
- COMMUNICATION MANHOLE

ADJACENT PROPERTY OWNERS

ACROSS MARKET STREET:
 NCDOT
 4415 MARKET ST.
 ZONING: RB
 USE: VACANT
 DB 5886 PG 2574

ACROSS KERR AVENUE:
 MARKET STREET VENTURES LLC
 4500 MARKET ST.
 ZONING: RB
 USE: VACANT
 DB 6022 PG 330

ACROSS MARKET ST./KERR AVE.:
 MARKET & KERR LLC
 4501 MARKET ST.
 ZONING: RB
 USE: RETAIL
 DB 6099 PG 1906

TAKE 5 OIL CHANGE
 Wilmington - Market T5, LLC
 4440 Market Street
 Wilmington, NC 28403

MODIFICATION LOG

NO.	DATE	DESCRIPTION

JOB NUMBER: C180043
CHECKED BY: CT
DRAWN BY: CDA
DATE: 11-12-2018

FIRM C-2881
AMERICAN Engineering
 American Engineering Associates - Southeast, P.A.
 808 Corporate Center Dr - Suite 110
 Charlotte, NC 28226
 704-375-2438

- GENERAL NOTES**
- BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY ENTITLED "ALTA/NSPS SURVEY OF 4412 MARKET STREET" SITUATED IN WILMINGTON, NEW HANOVER COUNTY, NC. PREPARED BY C. GARY BROOKS, PLS No. L-3180, CGB ASSOCIATES, PLLC DATED 11/5/2018.
 - THE SUBJECT TRACT IS GRAPHICALLY LOCATED IN "OTHER AREAS ZONE X" AS DETERMINED BY THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT / FEDERAL INSURANCE ADMINISTRATION AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 3720313800J DATED APRIL 3, 2006.
 - THE NCGS COORDINATES WERE ESTABLISHED BY USING SPECTRA TS 60 (GNSS) AND THE NORTH CAROLINA GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) REAL TIME NETWORK (RTN) UTILIZING THE NORTH CAROLINA CONTINUOUSLY OPERATING REFERENCE STATION (CORS).
 - THE GRAPHIC REPRESENTATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN WERE ESTABLISHED BY THE FIELD LOCATION OF MARKINGS REPRESENTING UNDERGROUND UTILITIES BY OTHERS OR OBTAINING INFORMATION SHOWING APPROXIMATE LOCATION.

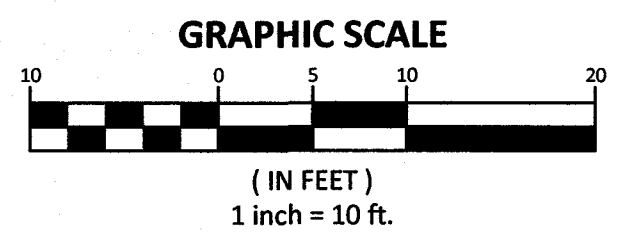
Approved Construction Plan

Name	Date
Planning <i>UNC</i>	3-27-2019
Traffic <i>W. J. ...</i>	3-29-19
Fire <i>James ...</i>	3-28-19

City of WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: 3/28/19 Permit # 2019018
 Signed: *Josh Christian*

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NORTH CAROLINA
 PROFESSIONAL ENGINEER
 33046
 3-14-19
 BARRY M. FAY

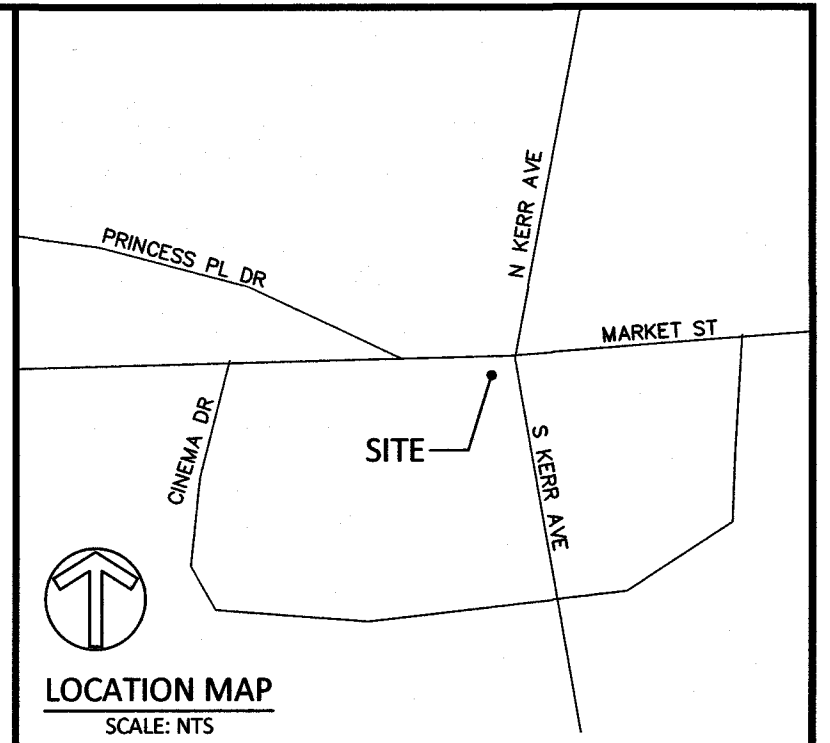
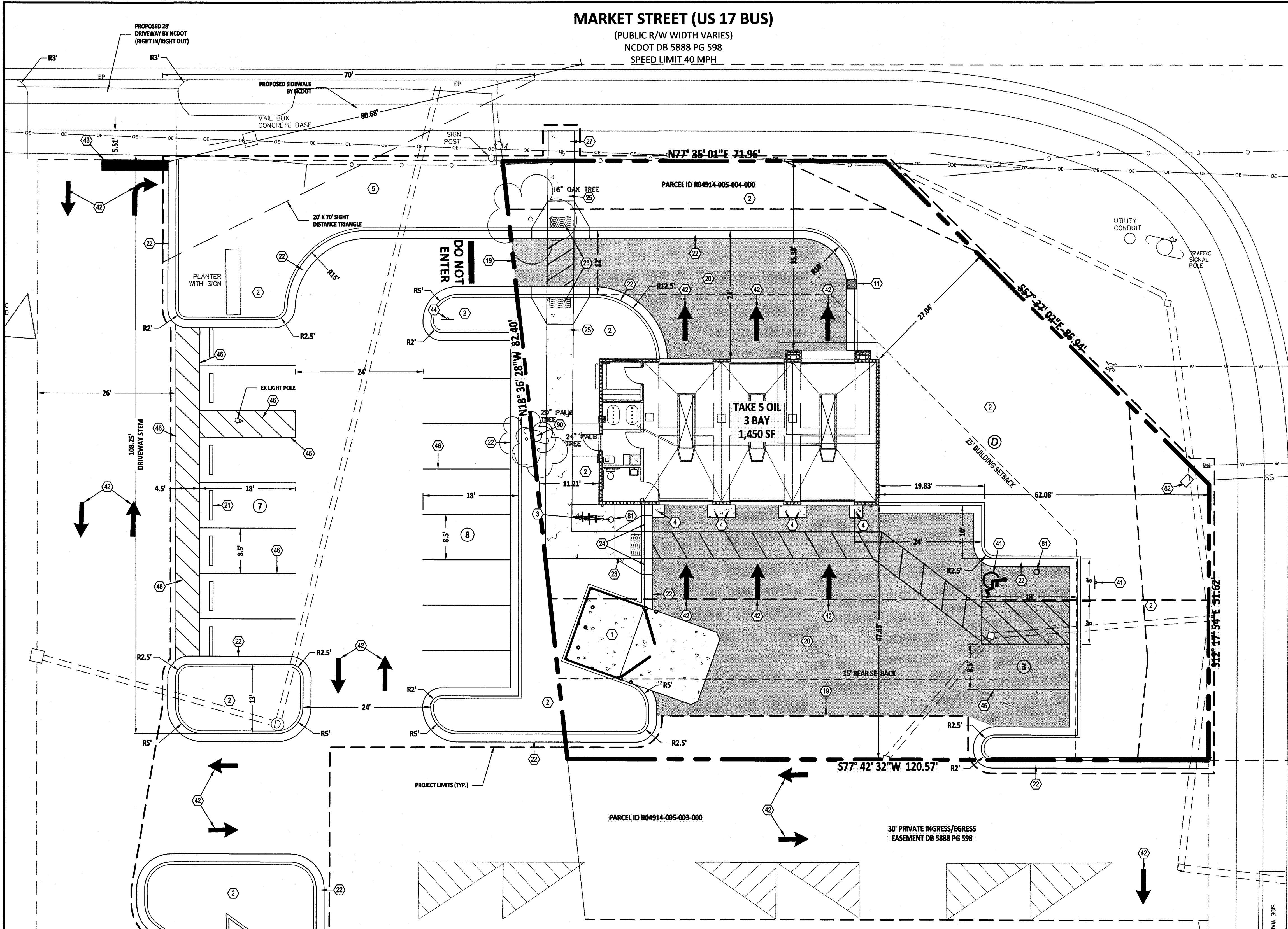


EXISTING CONDITIONS & DEMOLITION PLAN

SHEET: C2.0

MARKET STREET (US 17 BUS)

(PUBLIC R/W WIDTH VARIES)
NCDOT DB 5888 PG 598
SPEED LIMIT 40 MPH



LEGEND

EASEMENT	---
SITE PROPERTY LINE	---
RIGHT-OF-WAY	---
SETBACK	---
FIBER OPTIC LINE	---
GAS LINE	---
POWER LINE	---
POWER LINE (UNDERGROUND)	---
SANITARY SEWER PIPE	---
EX. STORM DRAIN PIPE	---
TELEPHONE LINE	---
TELEPHONE LINE (UNDERGROUND)	---
WATER LINE	---
PROPOSED PROJECT AREA LIMITS	---
PROPOSED CONCRETE PAVEMENT	---
PROPOSED ASPHALT PAVEMENT	---

DEVELOPMENT DATA

PROJECT NAME: TAKE 5 OIL CHANGE
 ZONING: RB
 ADDRESS: 4440 MARKET STREET
 WILMINGTON, NC 28403
 SITE PARCEL ID #: R04914-005-004-000
 SITE DEED BOOK/PAGE: 5977/2940
 ADJACENT PARCEL ID #: R04914-005-003-000
 CAMA LANDUSE CLASSIFICATION: URBAN
 MINIMUM FRONT SETBACK: 25 FT
 MINIMUM SIDE SETBACK: 0 FT
 MINIMUM REAR SETBACK: 15 FT
 PROPOSED BUILDING HEIGHT: 17'-0" (SINGLE STORY) 28'-6" TOWER
 PROPOSED FRONT SETBACK: 35.38 FT
 PROPOSED REAR SETBACK: 11.21 FT
 PROPOSED CORNER SIDE SETBACK: 47.65 FT
 MINIMUM CORNER SIDE SETBACK: 27.04 FT
 MAXIMUM HEIGHT: 35 FT
 PROPOSED BUILDING CONSTRUCTION TYPE: VB

TOTAL PROPERTY AREA: 12,443 SF (0.29 AC)
 EXISTING PROPERTY IMPERVIOUS AREA: 8,840 SF (0.20 AC)
 PROPOSED PROPERTY IMPERVIOUS AREA: 8,021 SF (0.18 AC)
 EXISTING PROPERTY IMPERVIOUS %: 71%
 PROPOSED PROPERTY IMPERVIOUS %: 64%
 TOTAL PROPERTY DISTURBED AREA: 16,319 SF (0.37 AC)
 OFFSITE NEW IMPERVIOUS AREA: 28 SF (0.00 AC)
 TOTAL PROJECT NEW IMPERVIOUS AREA: 8,049 SF (0.18 AC)

PROPOSED USE: AUTOMOTIVE SERVICES, EXCEPT REPAIR AND TOWING
 TOTAL GROSS BUILDING AREA: 1,450 SQ. FT.
 BUILDING LOT COVERAGE: 1,450 SF/12,443 = 0.12
 MIN. REQUIRED PARKING: 1 SPACE PER 600 SQ. FT. = 3 SPACES
 MAX. REQUIRED PARKING: 1 SPACE PER 400 SF = 4 SPACES
 PARKING PROVIDED: 3 SPACES (INCLUDING 1 HANDICAP STALL)
 BICYCLE PARKING REQUIRED: 0 SPACES (DEVELOPMENT REQUIRES <25 AUTOMOBILE PARKING SPACES)
 BICYCLE PARKING PROVIDED: 2 SPACES (1 BICYCLE RACK)

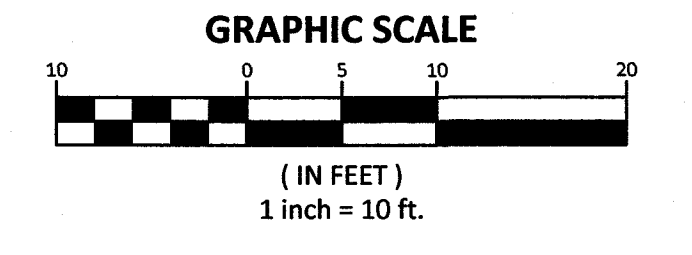
- KEY NOTES**
- DUMPSTER ENCLOSURE SEE DETAIL SHEET C8.0
 - LANDSCAPE AREAS - REFER TO LANDSCAPE PLAN SHEET C7.0
 - BICYCLE RACK
 - BOLLARD - SEE DETAIL SHEET C8.0
 - SEDED GREENSTRIP
 - NCDOT CONCRETE CATCH BASIN STD. 840.02 - SEE DETAIL SHEET C8.1
 - SAWCUT AND MATCH EXISTING PAVEMENT - SEE DETAIL SHEET C8.0
 - STANDARD DUTY ASPHALT PAVEMENT - SEE DETAIL SHEET C8.0
 - CONCRETE WHEEL STOP
 - CONCRETE CURB AND GUTTER - PER WILMINGTON STD. DETAIL 3-11 - SEE DETAIL SHEET C8.0
 - CURB RAMP W/DEPRESSED CURB PER WILMINGTON STD. DETAIL 3-08 - SEE DETAIL SHEET C8.0
 - TRANSITION FROM FULL CURB HEIGHT TO NO CURB
 - CONCRETE SIDEWALK PER WILMINGTON STD DETAIL 3-10 - SEE DETAIL SHEET C8.0
 - CONCRETE SIDEWALK PER NCDOT STD DETAIL 848.01 - SEE DETAIL SHEET C8.1
 - HANDICAP PARKING SIGNS AND MARKINGS SEE DETAIL SHEET C8.0
 - DRIVEWAY AROUND SEE DETAIL SHEET C8.0
 - 24" SOLID WHITE STOP BAR
 - DO NOT ENTER SIGN PER MUTCD RS-1
 - SEE DETAIL SHEET C8.0
 - 4" WIDE WHITE PAVEMENT STRIPE
 - 1" DOUBLE CHECK VALVE ASSEMBLY INSTALLED ABOVE-GROUND WITHIN PROTECTIVE ENCLOSURE PER CPFA STANDARD DETAIL WD-7 - SEE DETAIL SHEET C8.1
 - CLEANOUT TO GRADE WITH CONCRETE RING AND COVER - SEE DETAIL SHEET C8.1
 - POLE-MOUNTED TRANSFORMER - COORDINATE WITH DUKE ENERGY PROGRESS

GENERAL NOTES

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THESE AREAS.
- NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND NCDOT STANDARDS.
- ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING REGARDING THE INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS WITHIN THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
- ANY BROKEN OR MISSING SIDEWALK PANELS WILL BE REPLACED.

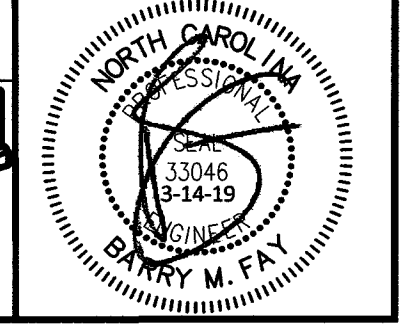
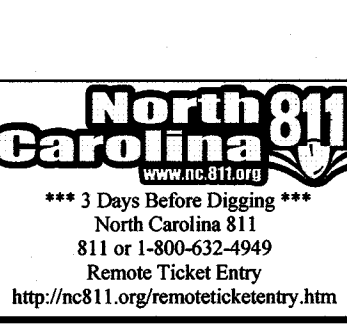
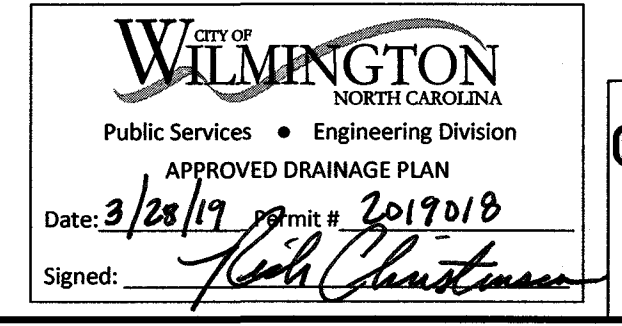
PRESCRIBED CONDITIONS

- SEC. 18-254 - AUTOMOTIVE SERVICES AND AUTOMOTIVE REPAIR, EXCEPT TOWING
- AUTOMOTIVE SERVICES AND REPAIRS SHALL COMPLY WITH THE FOLLOWING:
- (A) ALL REPAIR WORK OR LUBRICATION SHALL BE CONDUCTED WITHIN THE PRINCIPAL BUILDING. ALL REPAIR MATERIALS, MERCHANDISE, OR REPAIR AND SERVICING EQUIPMENT SHALL BE CONTAINED WITHIN THE PRINCIPAL BUILDING.
 - (B) NO OPERATOR SHALL PERMIT THE STORAGE OF MOTOR VEHICLES FOR A PERIOD IN EXCESS OF TWENTY-FOUR (24) HOURS UNLESS THE VEHICLES ARE ENCLOSED IN THE PRINCIPAL BUILDING.
 - (C) SERVICE OR CUSTOMER VEHICLES SHALL BE PARKED ON THE PREMISES IN A MANNER THAT WILL NOT CREATE TRAFFIC HAZARDS OR INTERFERE WITH THE VEHICULAR MANEUVERING AREA NECESSARY TO ENTER OR EXIT THE SITE.
 - (D) THE PREMISES SHALL NOT BE USED FOR THE SALE OF VEHICLES.
 - (E) NO OUTDOOR WORK SHALL BE PERFORMED EXCEPT IN AREAS DESIGNATED FOR SUCH ACTIVITY ON AN APPROVED SITE PLAN.
 - (F) OUTDOOR WORK AREAS SHALL BE FENCED, WALLED OR SCREENED TO MINIMIZE ON-SITE AND OFF-SITE NOISE, GLARE, ODOR OR OTHER IMPACTS.
 - (G) ADDITIONAL BUFFERING AND SCREENING OR RETAIL WHERE SUCH USE IS LOCATED IN CLOSE PROXIMITY TO RESIDENTIAL OR OTHER COMMERCIAL USES.



Approved Construction Plan

Name	Date
Planning <i>cmc</i>	3-27-2019
Traffic <i>w...</i>	3-29-19
Fire <i>James...</i>	3-28-19



STIPULATION FOR REUSE

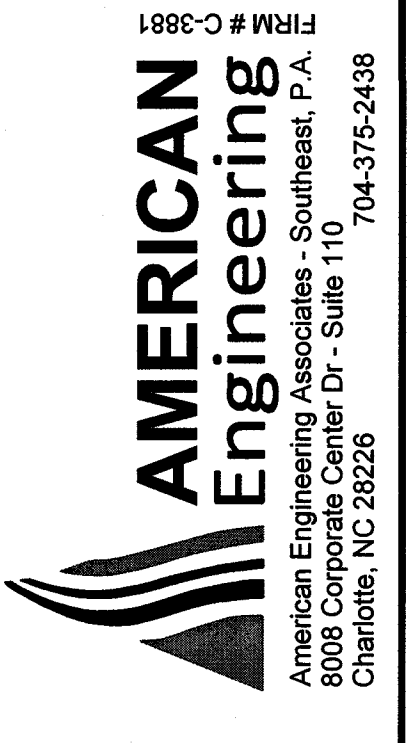
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TAKE 5 OIL CHANGE
 Wilmington - Market T5, LLC
 4440 Market Street
 Wilmington, NC 28403

MODIFICATION LOG

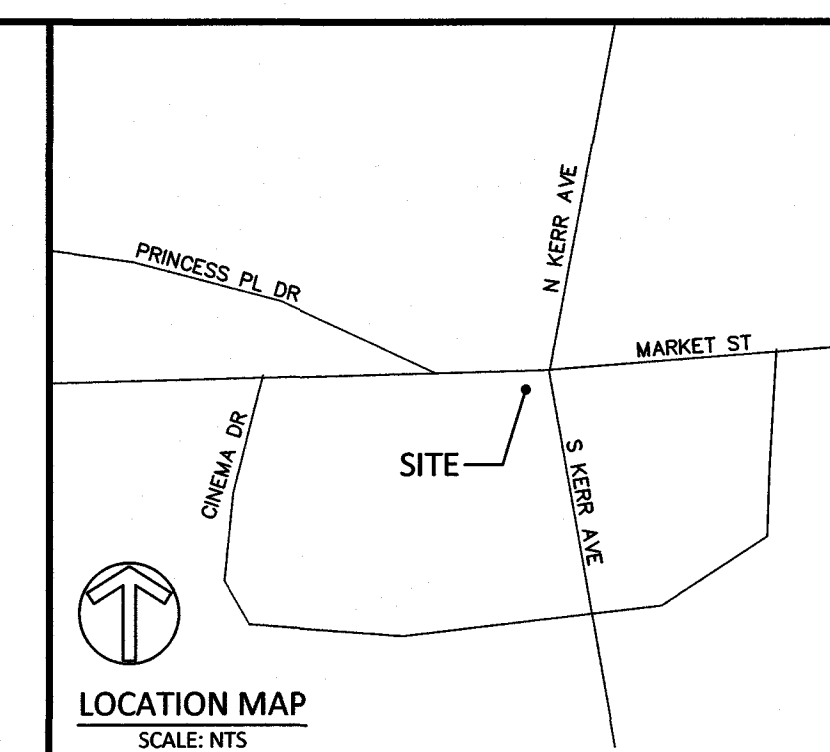
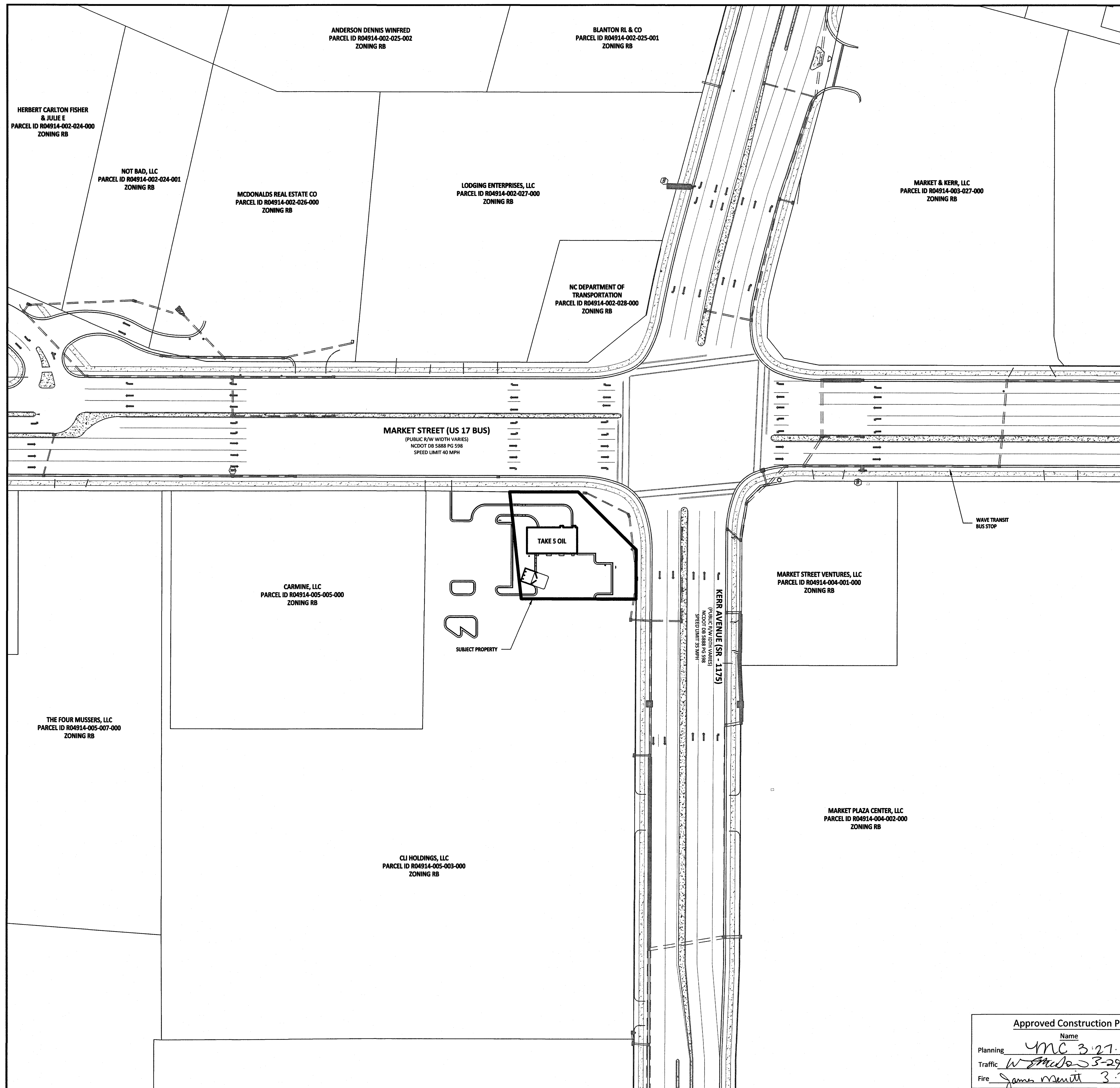
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 DATE: 11-12-2018



SITE PLAN

SHEET: **C3.0**



LEGEND

SITE PROPERTY LINE	---
RIGHT-OF-WAY	---
SETBACK	---
FIBER OPTIC LINE	---
GAS LINE	---
POWER LINE	---
POWER LINE (UNDERGROUND)	---
SANITARY SEWER PIPE	---
EX. STORM DRAIN PIPE	---
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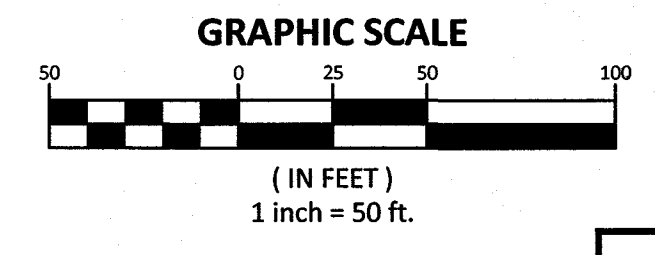
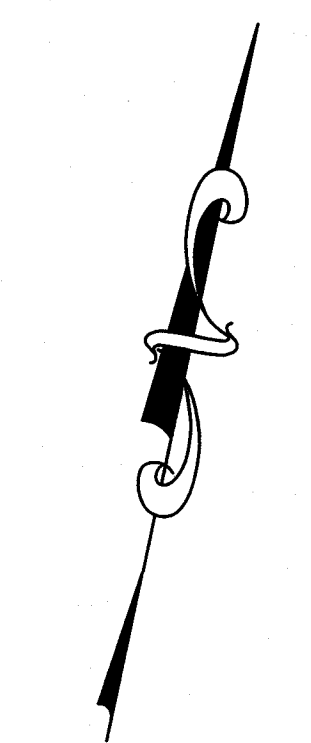
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AMERICAN Engineering Associates
 American Engineering Associates, Southeast, P.A.
 8008 Coxe Center Dr - Suite 110
 Charlotte, NC 28226
 FIRM # WRM-C-3881
 704-375-2438

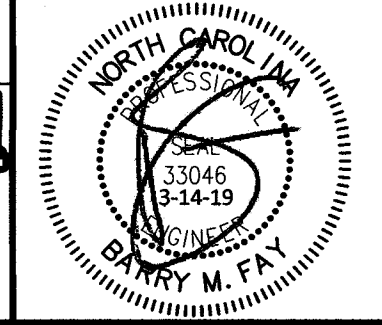


Approved Construction Plan

Name	Date
Planning	YMC 3.27.2019
Traffic	W. McDonald 3-29-19
Fire	James Meredith 3.28.19

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: 3/28/19 permit # 2019018
 Signed: [Signature]

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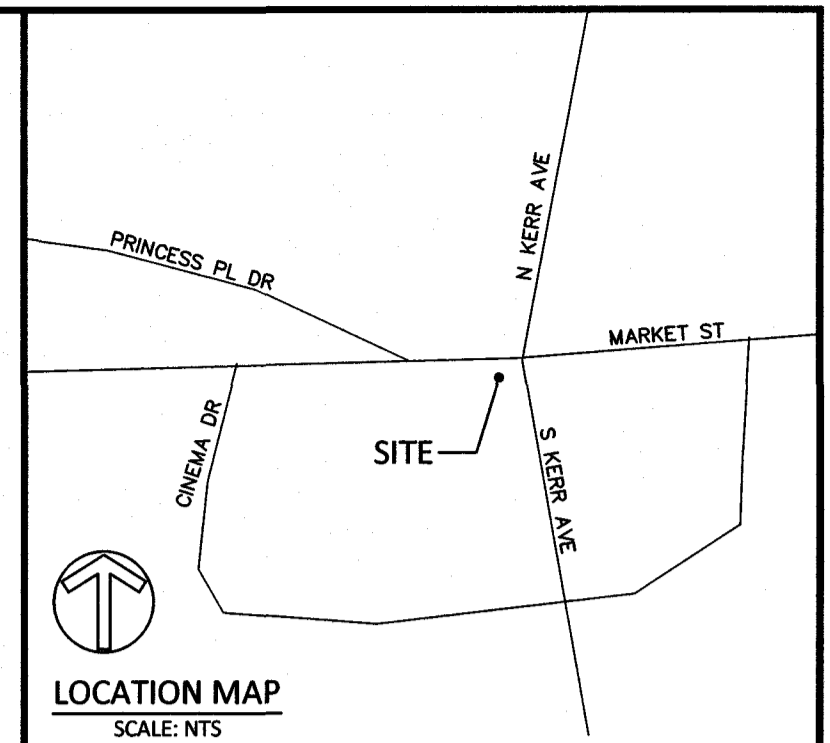
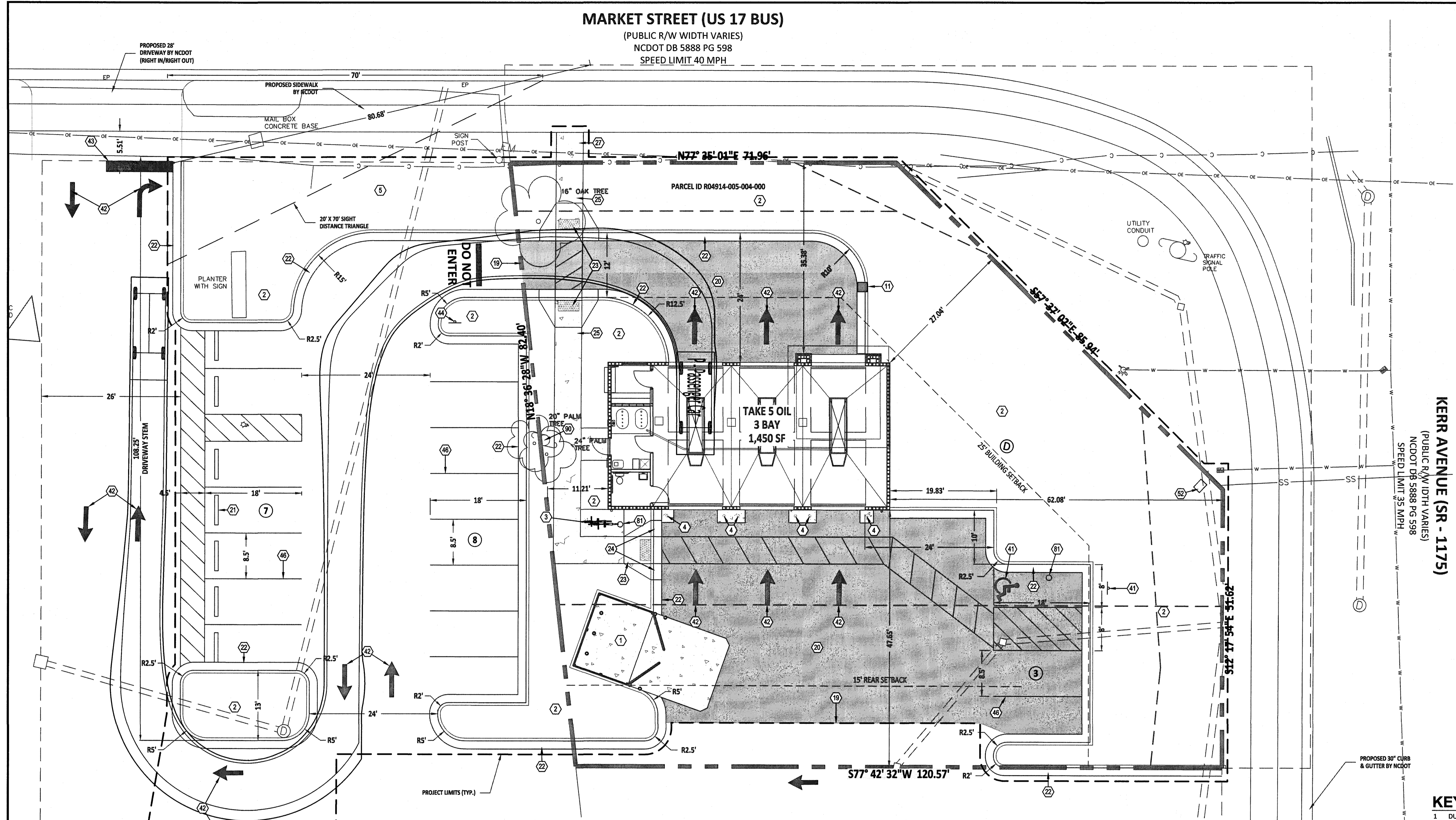


VICINITY SITE PLAN

SHEET: **C3.1**

MARKET STREET (US 17 BUS)

(PUBLIC R/W WIDTH VARIES)
 NCDOT DB 5888 PG 598
 SPEED LIMIT 40 MPH



LEGEND

EASEMENT	---
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RIGHT-OF-WAY	---
SETBACK	---
FIBER OPTIC LINE	---
GAS LINE	---
POWER LINE	---
POWER LINE (UNDERGROUND)	---
SANITARY SEWER PIPE	---
EX. STORM DRAIN PIPE	---
TELEPHONE LINE	---
TELEPHONE LINE (UNDERGROUND)	---
WATER LINE	---
PROPOSED PROJECT AREA LIMITS	---
PROPOSED CONCRETE PAVEMENT	---
PROPOSED ASPHALT PAVEMENT	---

KERR AVENUE (SR - 1175)
 (PUBLIC R/W WIDTH VARIES)
 NCDOT DB 5888 PG 598
 SPEED LIMIT 35 MPH

DEVELOPMENT DATA

PROJECT NAME: TAKE 5 OIL CHANGE
 ZONING: RB
 ADDRESS: 4440 MARKET STREET, WILMINGTON, NC 28403
 SITE PARCEL ID #: R04914-005-004-000
 SITE DEED BOOK/PAGE: 5977/2940
 ADJACENT PARCEL ID #: R04914-005-003-000
 CAMA LANDUSE CLASSIFICATION: URBAN
 MINIMUM FRONT SETBACK: 25 FT
 MINIMUM SIDE SETBACK: 0 FT
 MINIMUM REAR SETBACK: 15 FT
 PROPOSED BUILDING HEIGHT: 17'-0" (SINGLE STORY) 28'-6" TOWER
 PROPOSED FRONT SETBACK: 35.38 FT
 PROPOSED SIDE SETBACK: 11.21 FT
 PROPOSED REAR SETBACK: 47.65 FT
 PROPOSED CORNER SIDE SETBACK: 27.04 FT
 MINIMUM CORNER SIDE SETBACK: 25 FT
 MAXIMUM HEIGHT: 35 FT
 PROPOSED BUILDING CONSTRUCTION TYPE: VB

TOTAL PROPERTY AREA: 12,443 SF (0.29 AC)
 EXISTING PROPERTY IMPERVIOUS AREA: 8,840 SF (0.20 AC)
 PROPOSED PROPERTY IMPERVIOUS AREA: 8,021 SF (0.18 AC)
 EXISTING PROPERTY IMPERVIOUS %: 71%
 PROPOSED PROPERTY IMPERVIOUS %: 64%
 TOTAL PROPERTY DISTURBED AREA: 16,319 SF (0.37 AC)
 OFFSITE NEW IMPERVIOUS AREA: 28 SF (0.00 AC)
 TOTAL PROJECT NEW IMPERVIOUS AREA: 8,049 SF (0.18 AC)

PROPOSED USE: AUTOMOTIVE SERVICES, EXCEPT REPAIR AND TOWING
 TOTAL GROSS BUILDING AREA: 1,450 SQ. FT.
 BUILDING LOT COVERAGE: 1,450 SF/12,443 = 0.12
 MIN. REQUIRED PARKING: 1 SPACE PER 600 SQ. FT. = 3 SPACES
 MAX. REQUIRED PARKING: 1 SPACE PER 400 SF = 4 SPACES
 PARKING PROVIDED: 3 SPACES (INCLUDING 1 HANDICAP STALL)
 BICYCLE PARKING REQUIRED: 0 SPACES (DEVELOPMENT REQUIRES <25 AUTOMOBILE PARKING SPACES)
 BICYCLE PARKING PROVIDED: 2 SPACES (1 BICYCLE RACK)

STIPULATION FOR REUSE
 THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE, 4412 MARKET ST., WILMINGTON, NC 28403. IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER DATE. THE USE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS PROHIBITED. REPRODUCTION OF THIS DRAWING FOR USE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

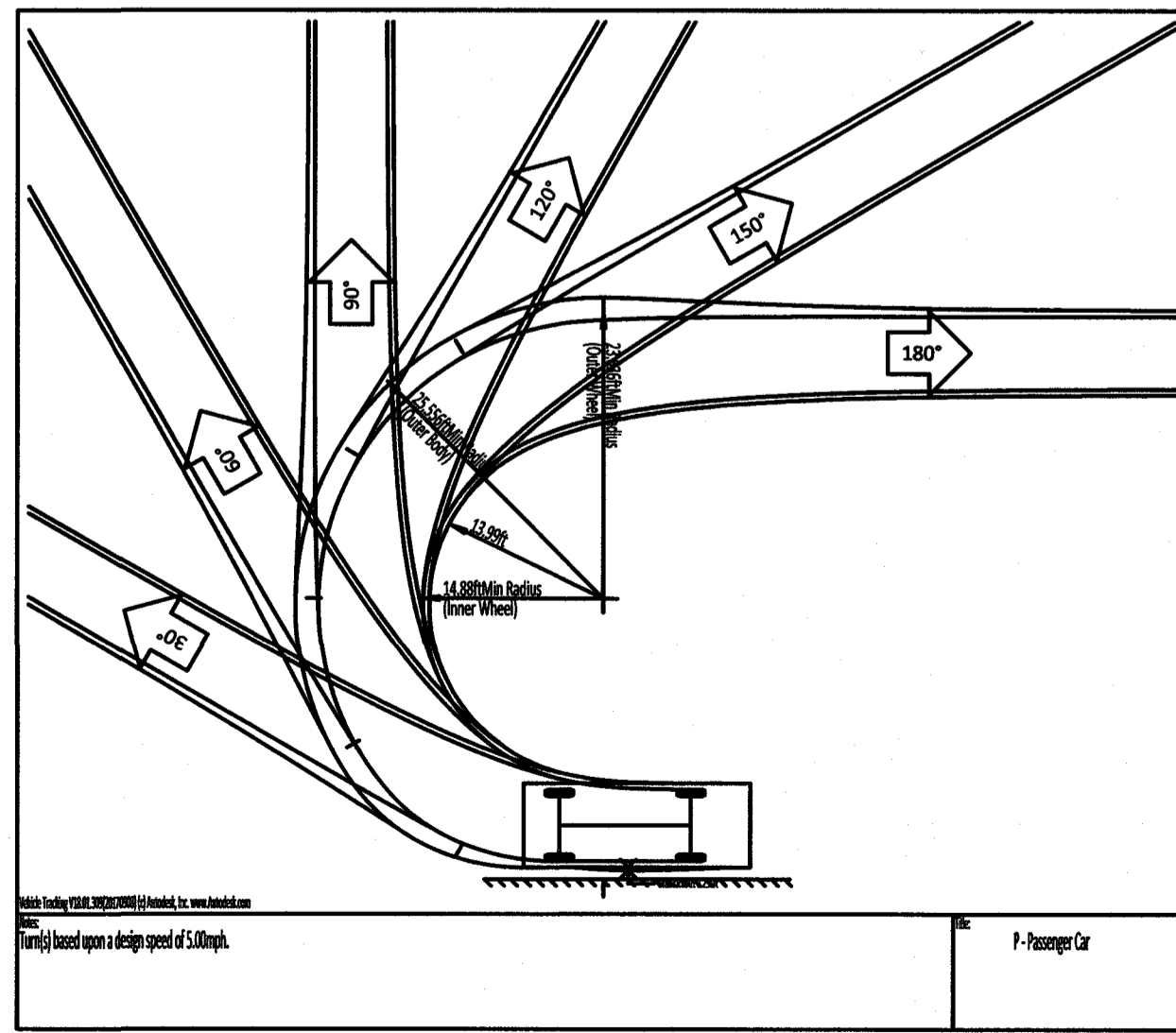
TAKE 5 OIL CHANGE
 Wilmington - Market T5, LLC
 4440 Market Street
 Wilmington, NC 28403

MODIFICATION LOG

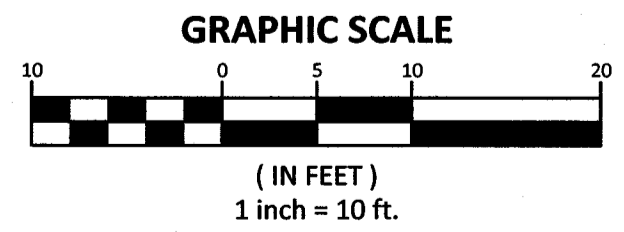
NO.	DESCRIPTION	DATE

JOB NUMBER: C180043
 CHECKED BY: CT
 DRAWN BY: CDA
 DATE: 11-12-2018

- KEY NOTES**
- DUMPSTER ENCLOSURE SEE DETAIL SHEET C8.0
 - LANDSCAPE AREAS - REFER TO LANDSCAPE PLAN SHEET C7.0
 - BICYCLE RACK
 - BOLLARD - SEE DETAIL SHEET C8.0
 - SEEDED GREENSTRIP
 - NCDOT CONCRETE CATCH BASIN STD. 840.02 - SEE DETAIL SHEET C8.1
 - SAWCLUT AND MATCH EXISTING PAVEMENT, SEE DETAIL SHEET C8.0
 - STANDARD DUTY ASPHALT PAVEMENT - SEE DETAIL SHEET C8.0
 - CONCRETE WHEEL STOP
 - 24" CONCRETE CURB AND GUTTER - PER WILMINGTON STD. DETAIL 3-11 - SEE DETAIL SHEET C8.0
 - CURB RAMP W/DEPRESSED CURB PER WILMINGTON STD. DETAIL 3-08 - SEE DETAIL SHEET C8.0
 - TRANSITION FROM FULL CURB HEIGHT TO NO CURB
 - 5' CONCRETE SIDEWALK PER WILMINGTON STD DETAIL 3-10 - SEE DETAIL SHEET C8.0
 - 5' CONCRETE SIDEWALK PER NCDOT STD DETAIL 848.01 - SEE DETAIL SHEET C8.1
 - HANDICAP PARKING SIGNS AND MARKINGS SEE DETAIL SHEET C8.0
 - DRIVEWAY ARROW SEE DETAIL SHEET C8.0
 - 24" SOLID WHITE STOP BAR
 - DO NOT ENTER SIGN PER MUTCD R5-1 SEE DETAIL SHEET C8.0
 - 4" WIDE WHITE PARKING STRIPE
 - 1" DOUBLE CHECK VALVE ASSEMBLY INSTALLED ABOVE-GROUND WITHIN PROTECTIVE ENCLOSURE PER CPFA STANDARD DETAIL WD-7 - SEE DETAIL SHEET C8.1
 - CLEANOUT TO GRADE WITH CONCRETE RING AND COVER - SEE DETAIL SHEET C8.1
 - POLE-MOUNTED TRANSFORMER - COORDINATE WITH DUKE ENERGY PROGRESS

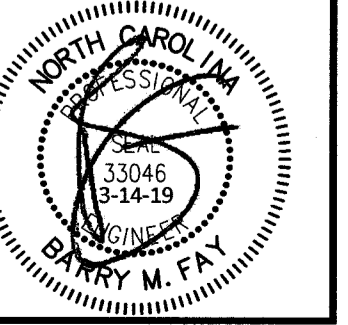
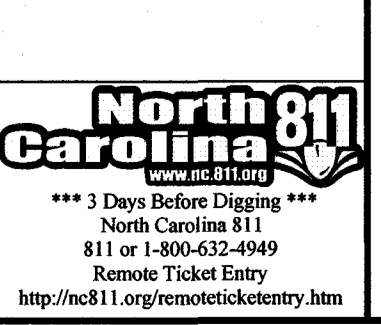
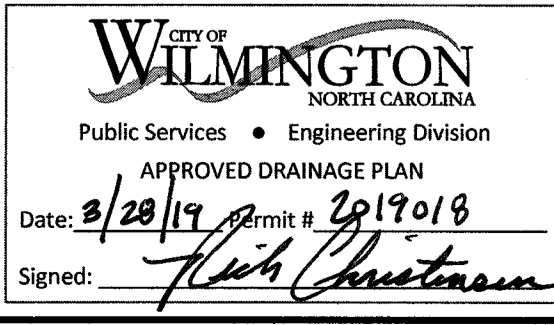


VEHICLE TRACKING TEMPLATE



Approved Construction Plan

Name: YMC 3-27-2019
 Date: 3/28/19
 Planning: YMC 3-27-2019
 Traffic: W. Smith 3-29-19
 Fire: James Smith 3-28-19

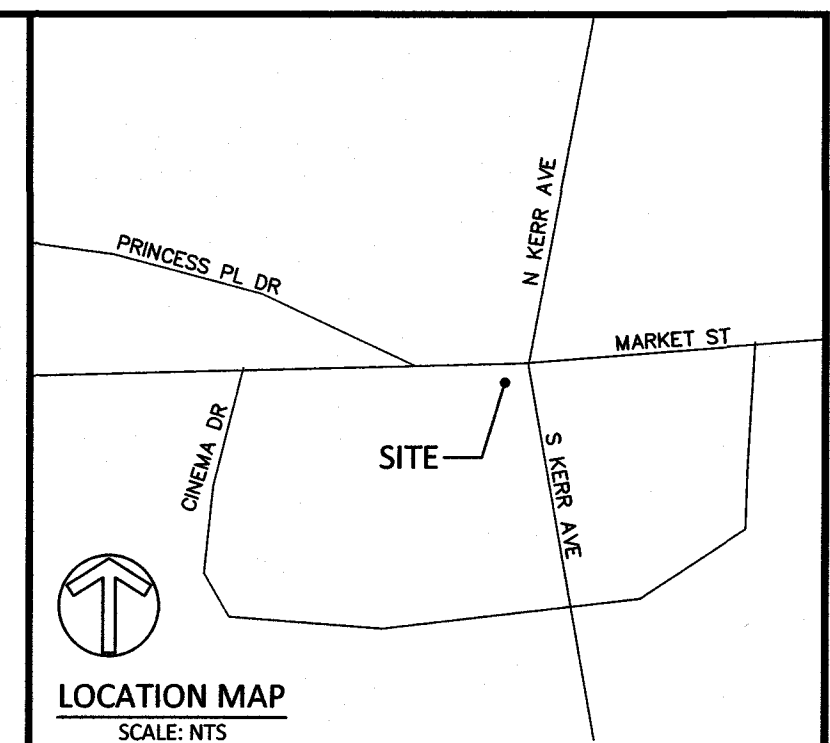
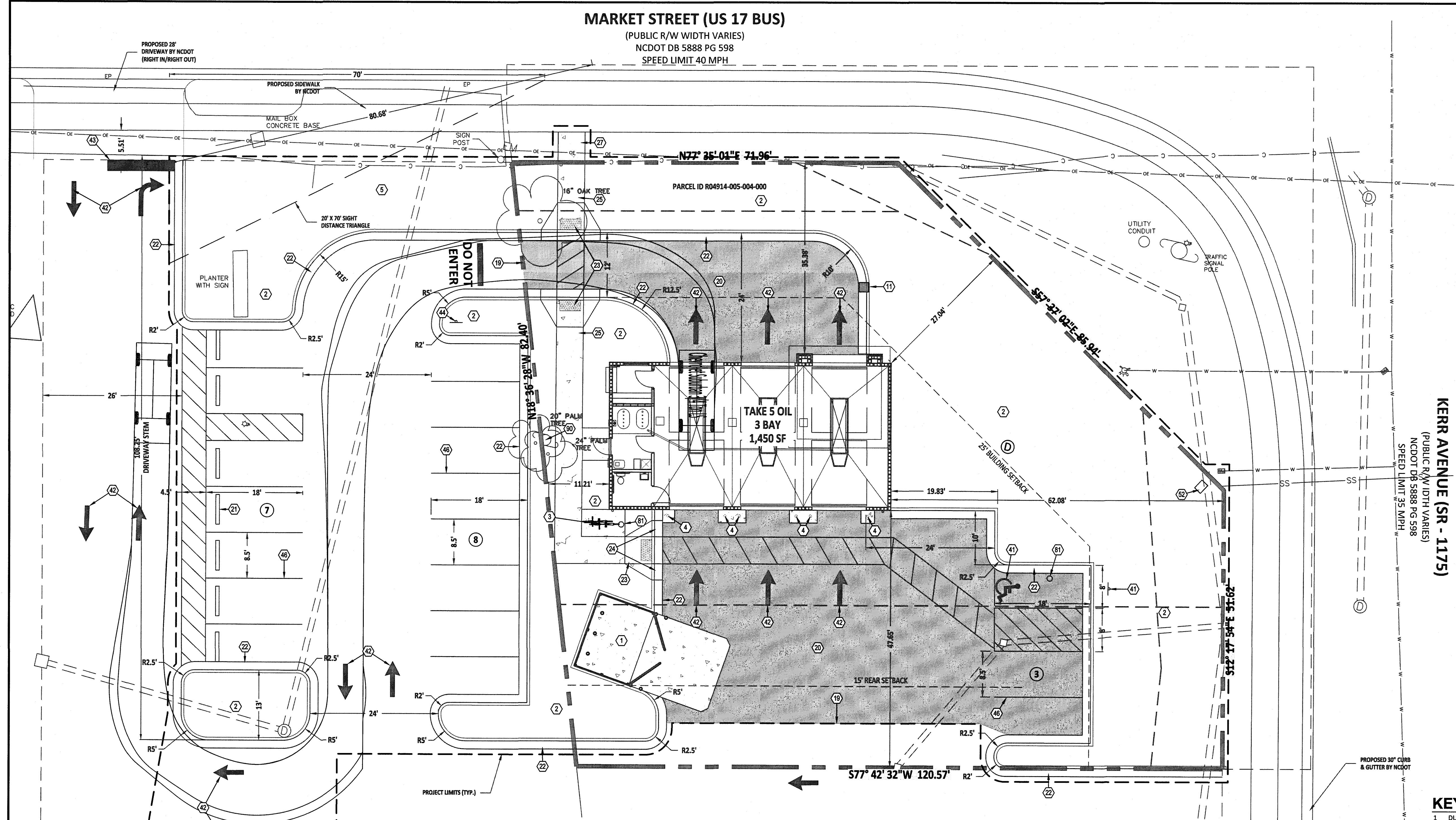


VEHICLE TRACKING PASSENGER CAR

SHEET: **C3.2**

AMERICAN Engineering
 American Engineering Associates - Southeast, P.A.
 8008 Corporate Center Dr - Suite 110
 Charlotte, NC 28226
 704-375-2438

MARKET STREET (US 17 BUS)
(PUBLIC R/W WIDTH VARIES)
NCDOT DB 5888 PG 598
SPEED LIMIT 40 MPH



LEGEND

EASEMENT	---
SITE PROPERTY LINE	---
RIGHT-OF-WAY	---
SETBACK	---
FIBER OPTIC LINE	---
GAS LINE	---
POWER LINE	---
POWER LINE (UNDERGROUND)	---
SANITARY SEWER PIPE	---
EX. STORM DRAIN PIPE	---
TELEPHONE LINE	---
TELEPHONE LINE (UNDERGROUND)	---
WATER LINE	---
PROPOSED PROJECT AREA LIMITS	---
PROPOSED CONCRETE PAVEMENT	---
PROPOSED ASPHALT PAVEMENT	---

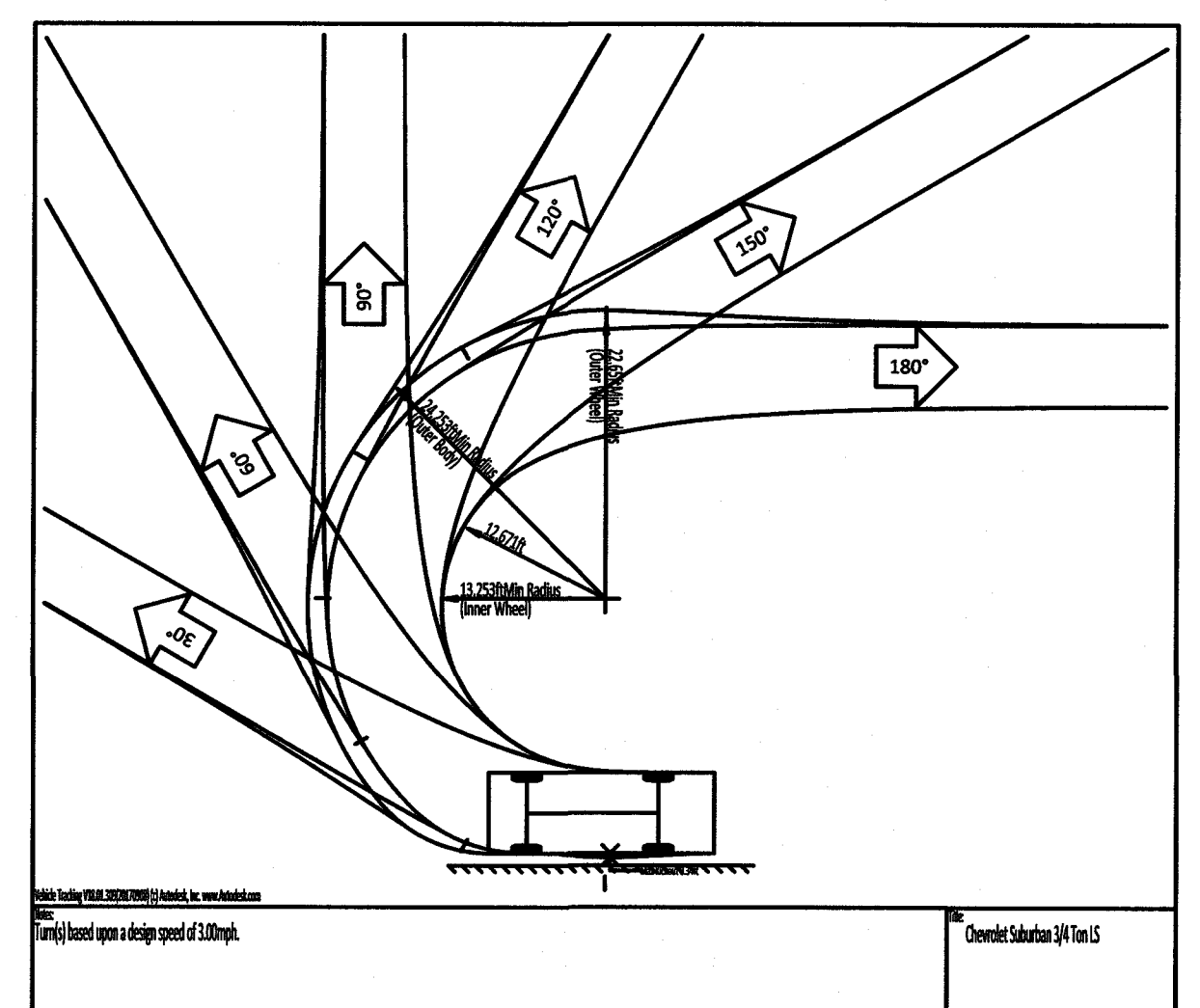
KERR AVENUE (SR - 1175)
(PUBLIC R/W WIDTH VARIES)
NCDOT DB 5888 PG 598
SPEED LIMIT 35 MPH

DEVELOPMENT DATA

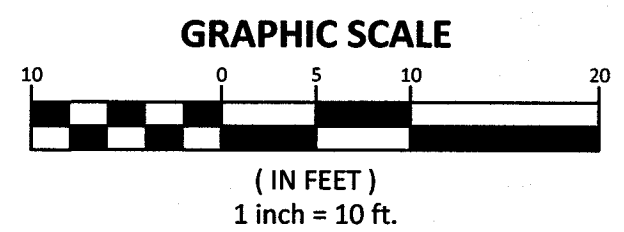
PROJECT NAME:	TAKE 5 OIL CHANGE
ZONING:	RB
ADDRESS:	4440 MARKET STREET
SITE DEED BOOK/PAGE:	WILMINGTON, NC 28403
ADJACENT PARCEL ID #:	RD4914-005-004-000
CAMA LAND USE CLASSIFICATION:	5977/2340
MINIMUM FRONT SETBACK:	RD4914-005-003-000
MINIMUM SIDE SETBACK:	25 FT
MINIMUM REAR SETBACK:	0 FT
PROPOSED BUILDING HEIGHT:	17'-0" (SINGLE STORY) 28'-6" TOWER
PROPOSED FRONT SETBACK:	35.38 FT
PROPOSED SIDE SETBACK:	11.21 FT
PROPOSED REAR SETBACK:	47.65 FT
PROPOSED CORNER SIDE SETBACK:	27.04 FT
MINIMUM CORNER SIDE SETBACK:	25 FT
MAXIMUM HEIGHT:	35 FT
PROPOSED BUILDING CONSTRUCTION TYPE:	V6
TOTAL PROPERTY AREA:	12,443 SF (0.29 AC)
EXISTING PROPERTY IMPERVIOUS AREA:	8,840 SF (0.20 AC)
PROPOSED PROPERTY IMPERVIOUS AREA:	8,021 SF (0.18 AC)
EXISTING PROPERTY IMPERVIOUS %:	71%
PROPOSED PROPERTY IMPERVIOUS %:	64%
TOTAL PROPERTY DISTURBED AREA:	16,319 SF (0.37 AC)
OFFSITE NEW IMPERVIOUS AREA:	28 SF (0.00 AC)
TOTAL PROJECT NEW IMPERVIOUS AREA:	8,049 SF (0.18 AC)
PROPOSED USE:	AUTOMOTIVE SERVICES, EXCEPT REPAIR AND TOWING
TOTAL GROSS BUILDING AREA:	1,450 SQ. FT.
BUILDING LOT COVERAGE:	1,450 SF/12,443 = 0.12
MIN. REQUIRED PARKING:	1 SPACE PER 600 SQ. FT. = 3 SPACES
MAX. REQUIRED PARKING:	1 SPACE PER 400 SF = 4 SPACES
PARKING PROVIDED:	3 SPACES (INCLUDING 1 HANDICAP STALL)
BICYCLE PARKING REQUIRED:	0 SPACES (DEVELOPMENT REQUIRES <25 AUTOMOBILE PARKING SPACES)
BICYCLE PARKING PROVIDED:	2 SPACES (1 BICYCLE RACK)

KEY NOTES

- DUMPSTER ENCLOSURE SEE DETAIL SHEET C8.0
- LANDSCAPE AREAS - REFER TO LANDSCAPE PLAN SHEET C7.0
- BICYCLE RACK
- BOLLARD - SEE DETAIL SHEET C8.0
- SEEDED GREENSTRIP
- NCDOT CONCRETE CATCH BASIN STD. 840.02 - SEE DETAIL SHEET C8.1
- SAWCUT AND MATCH EXISTING PAVEMENT - SEE DETAIL SHEET C8.0
- STANDARD DUTY ASPHALT PAVEMENT - SEE DETAIL SHEET C8.0
- CONCRETE WHEEL STOP
- 24" CONCRETE CURB AND GUTTER - PER WILMINGTON STD. DETAIL 3-11 - SEE DETAIL SHEET C8.0
- CURB RAMP W/DEPRESSED CURB PER WILMINGTON STD. DETAIL 3-08 - SEE DETAIL SHEET C8.0
- TRANSITION FROM FULL CURB HEIGHT TO NO CURB
- CONCRETE SIDEWALK PER WILMINGTON STD DETAIL 3-10 - SEE DETAIL SHEET C8.0
- CONCRETE SIDEWALK PER NCDOT STD DETAIL 848.01 - SEE DETAIL SHEET C8.1
- HANDICAP PARKING SIGNS AND MARKINGS SEE DETAIL SHEET C8.0
- DRIVEWAY ARROW SEE DETAIL SHEET C8.0
- 24" SOLID WHITE STOP BAR
- DO NOT ENTER SIGN PER MUTCD R5-1 SEE DETAIL SHEET C8.0
- 4" WIDE WHITE PARKING STRIPE
- DOUBLE CHECK VALVE ASSEMBLY INSTALLED ABOVE-GROUND WITHIN PROTECTIVE ENCLOSURE PER CFPUA STANDARD DETAIL WD-7 - SEE DETAIL SHEET C8.1
- CLEANOUT TO GRADE WITH CONCRETE RING AND COVER - SEE DETAIL SHEET C8.1
- POLE-MOUNTED TRANSFORMER - COORDINATE WITH DUKE ENERGY PROGRESS



VEHICLE TRACKING TEMPLATE



Approved Construction Plan

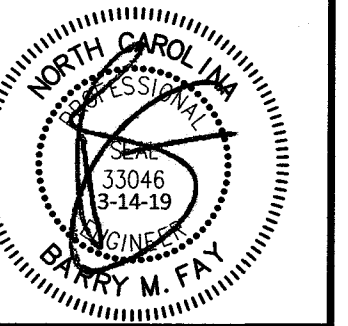
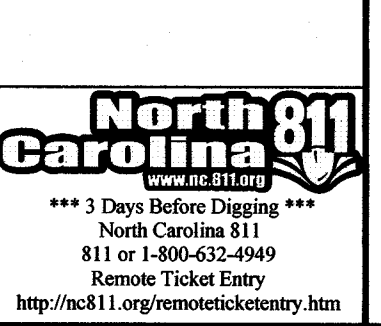
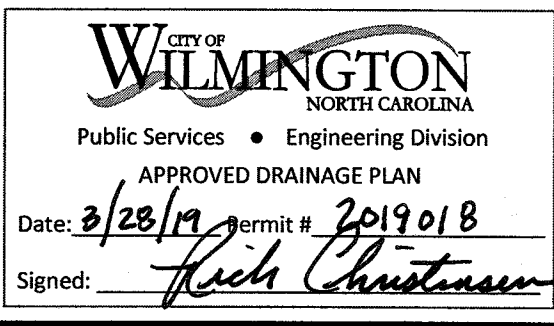
Name: Umc Date: 3.27.2019

Planning: W. M. D. Traffic: 3-29-19 Fire: 3-28-19

APPROVED DRAINAGE PLAN

Date: 3/28/19 Permit #: 2019018

Signed: [Signature]



VEHICLE TRACKING SUV

SHEET: **C3.3**

STIPULATION FOR REUSE

THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE, 4412 MARKET ST., WILMINGTON, NC. CONTEMPORARILY WITH ITS ISSUE DATE ON 11/12/18, AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. THE USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

TAKE 5 OIL CHANGE
Wilmington - Market T5, LLC
4440 Market Street
Wilmington, NC 28403

MODIFICATION LOG

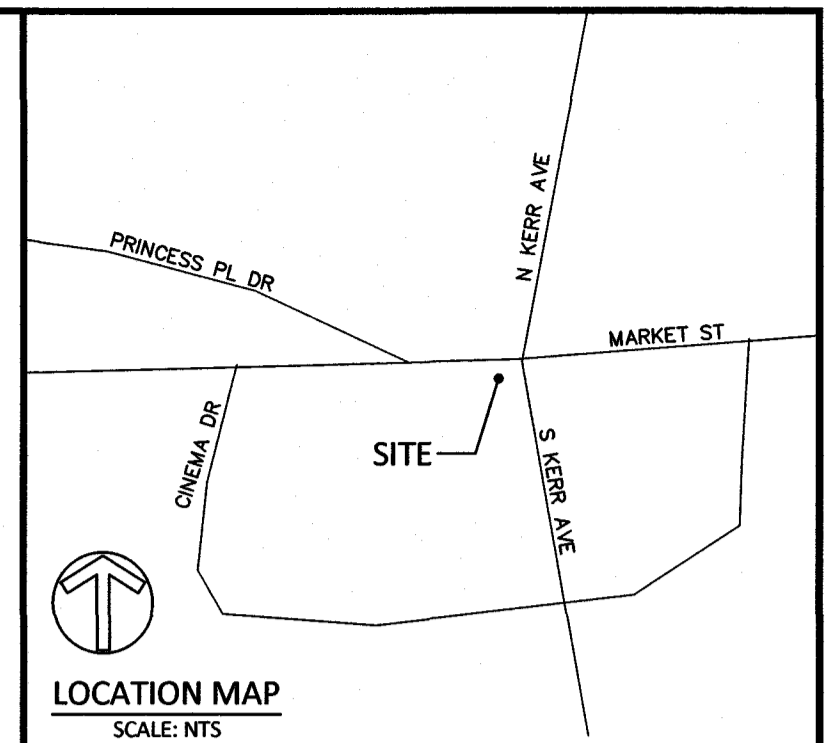
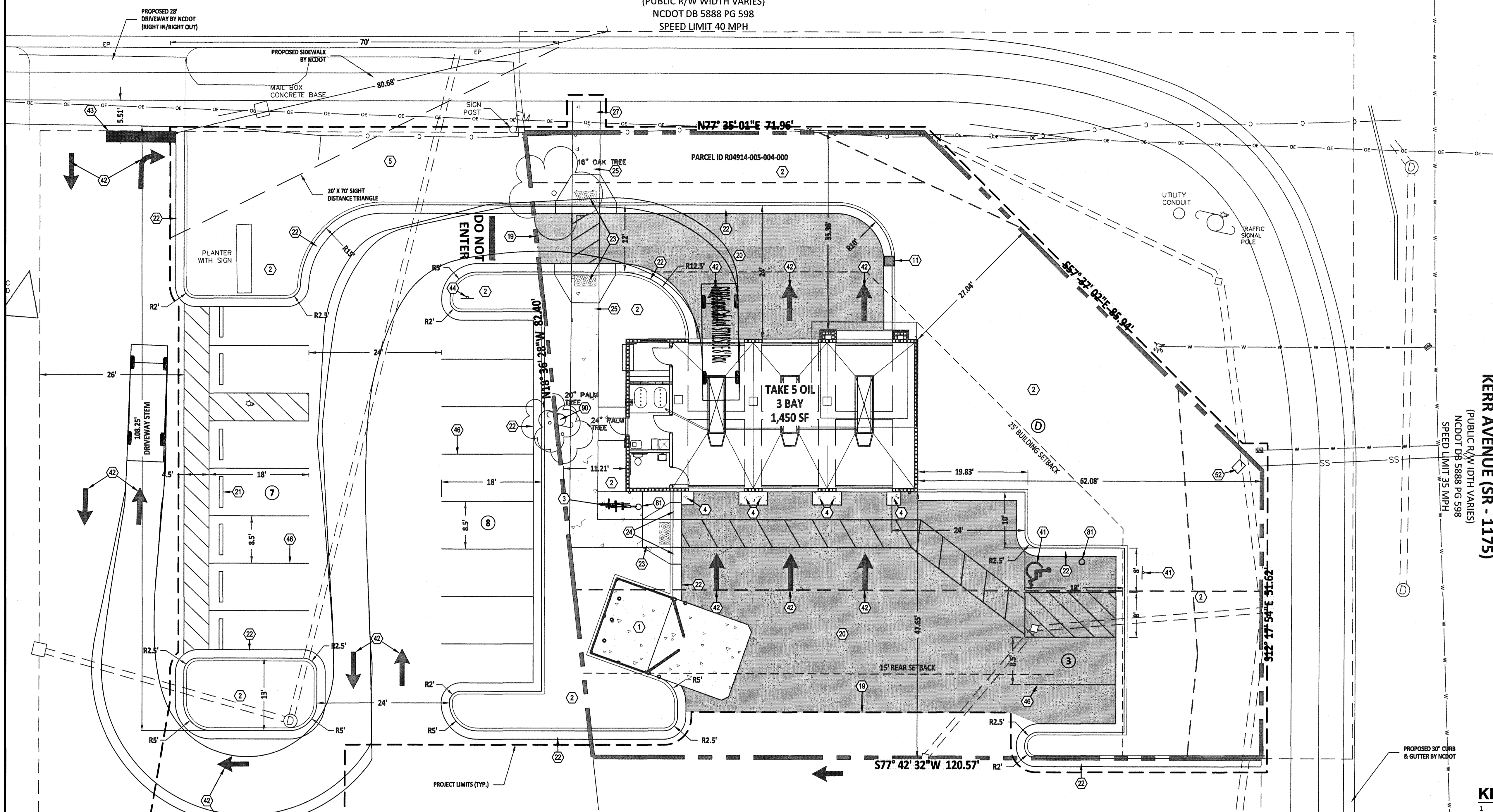
NO.	DATE	DESCRIPTION

JOB NUMBER: C180043
CHECKED BY: CT
DRAWN BY: CDA
DATE: 11-12-2018



MARKET STREET (US 17 BUS)

(PUBLIC R/W WIDTH VARIES)
NCDOT DB 5888 PG 598
SPEED LIMIT 40 MPH



LEGEND

EASEMENT	---
SITE PROPERTY LINE	---
RIGHT-OF-WAY	---
SETBACK	---
FIBER OPTIC LINE	---
GAS LINE	---
POWER LINE	---
POWER LINE (UNDERGROUND)	---
SANITARY SEWER PIPE	---
EX. STORM DRAIN PIPE	---
TELEPHONE LINE	---
TELEPHONE LINE (UNDERGROUND)	---
WATER LINE	---
PROPOSED PROJECT AREA LIMITS	---
PROPOSED CONCRETE PAVEMENT	---
PROPOSED ASPHALT PAVEMENT	---

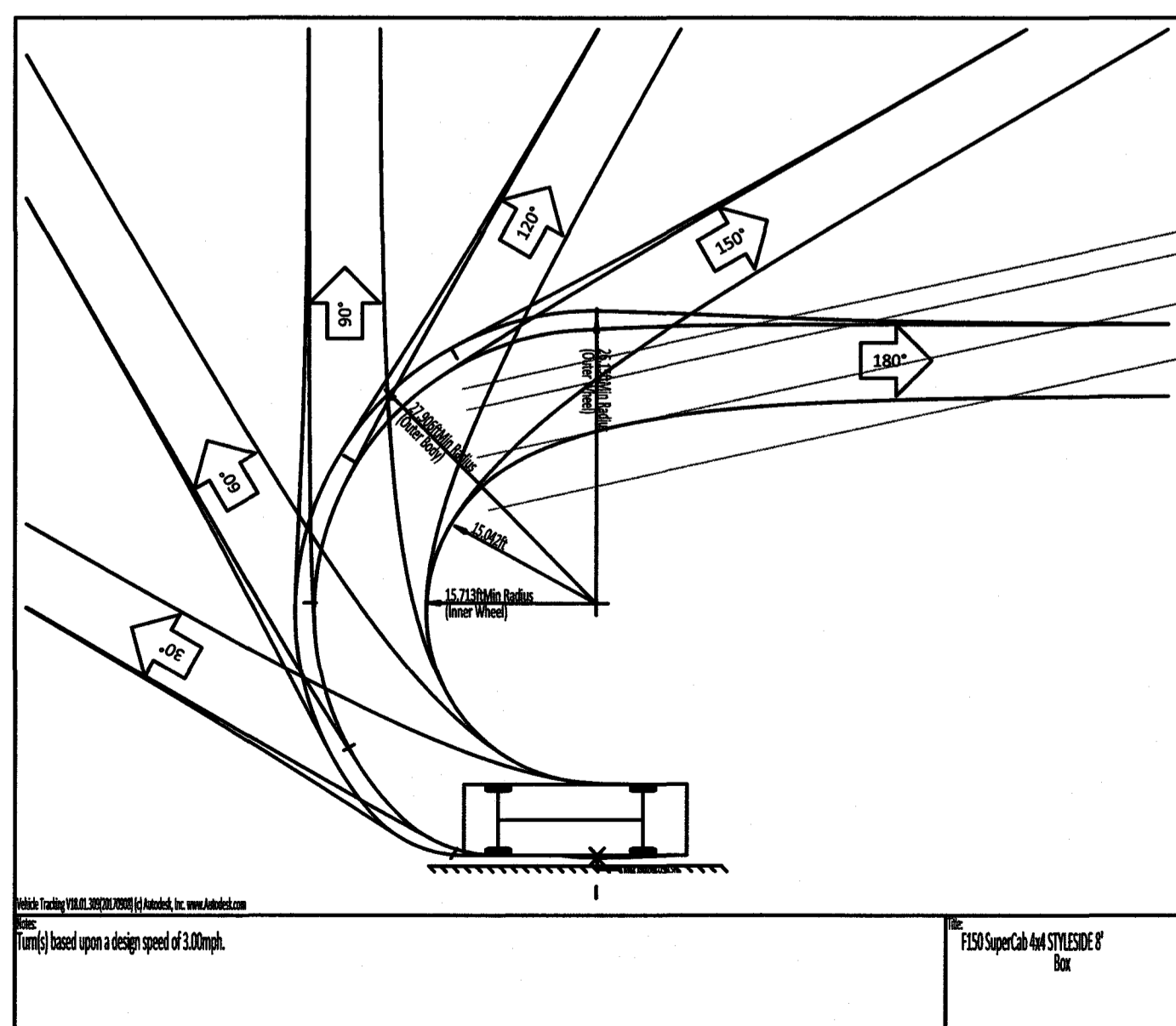
KERR AVENUE (SR - 1175)
(PUBLIC R/W WIDTH VARIES)
NCDOT DB 5888 PG 598
SPEED LIMIT 35 MPH

DEVELOPMENT DATA

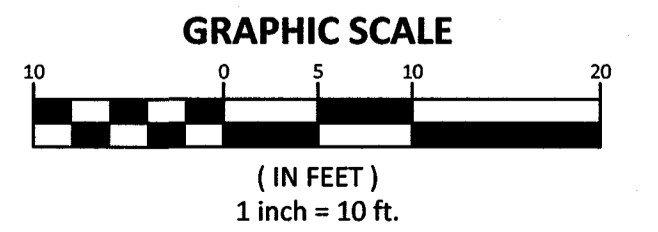
PROJECT NAME:	TAKE 5 OIL CHANGE
ZONING:	RB
ADDRESS:	4440 MARKET STREET WILMINGTON, NC 28403
SITE PARCEL ID #:	R04914-005-004-000
SITE DEED BOOK/PAGE:	5977/2940
ADJACENT PARCEL ID #:	R04914-005-003-000
CAMA LANDUSE CLASSIFICATION:	URBAN
MINIMUM FRONT SETBACK:	25 FT
MINIMUM SIDE SETBACK:	0 FT
MINIMUM REAR SETBACK:	15 FT
PROPOSED BUILDING HEIGHT:	15' 0" (SINGLE STORY) 28'-6" TOWER
PROPOSED FRONT SETBACK:	35.38 FT
PROPOSED SIDE SETBACK:	11.21 FT
PROPOSED REAR SETBACK:	47.65 FT
PROPOSED CORNER SIDE SETBACK:	27.04 FT
MINIMUM CORNER SIDE SETBACK:	25 FT
MAXIMUM HEIGHT:	35 FT
PROPOSED BUILDING CONSTRUCTION TYPE:	VB
TOTAL PROPERTY AREA:	12,443 SF (0.29 AC)
EXISTING PROPERTY IMPERVIOUS AREA:	8,840 SF (0.20 AC)
PROPOSED PROPERTY IMPERVIOUS AREA:	8,021 SF (0.18 AC)
EXISTING PROPERTY IMPERVIOUS %:	71%
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TOTAL PROPERTY DISTURBED AREA:	16,319 SF (0.37 AC)
OFFSITE NEW IMPERVIOUS AREA:	28 SF (0.00 AC)
TOTAL PROJECT NEW IMPERVIOUS AREA:	8,049 SF (0.18 AC)
PROPOSED USE:	AUTOMOTIVE SERVICES, EXCEPT REPAIR AND TOWING
TOTAL GROSS BUILDING AREA:	1,450 SQ. FT.
BUILDING LOT COVERAGE:	1,450 SF/12,443 = 0.12
MIN. REQUIRED PARKING:	1 SPACE PER 600 SQ. FT. = 3 SPACES
MAX. REQUIRED PARKING:	1 SPACE PER 400 SF = 4 SPACES
PARKING PROVIDED:	3 SPACES (INCLUDING 1 HANDICAP STALL)
BICYCLE PARKING REQUIRED:	0 SPACES (DEVELOPMENT REQUIRES <25 AUTOMOBILE PARKING SPACES)
BICYCLE PARKING PROVIDED:	2 SPACES (1 BICYCLE RACK)

KEY NOTES

- DUMPSTER ENCLOSURE SEE DETAIL SHEET C8.0
- LANDSCAPE AREAS - REFER TO LANDSCAPE PLAN SHEET C7.0
- BICYCLE RACK
- BOLLARD - SEE DETAIL SHEET C8.0
- SEEDED GREENTRIP
- NCDOT CONCRETE CATCH BASIN STD. 840.02 - SEE DETAIL SHEET C8.1
- SAWCLUT AND MATCH EXISTING PAVEMENT, SEE DETAIL SHEET C8.0
- STANDARD DUTY ASPHALT PAVEMENT - SEE DETAIL SHEET C8.0
- CONCRETE WHEEL STOP
- 24" CONCRETE CURB AND GUTTER - PER WILMINGTON STD. DETAIL 3-11 - SEE DETAIL SHEET C8.0
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- 5' CONCRETE SIDEWALK PER WILMINGTON STD DETAIL 3-10 - SEE DETAIL SHEET C8.0
- 5' CONCRETE SIDEWALK PER NCDOT STD DETAIL 848.01 - SEE DETAIL SHEET C8.1
- HANDICAP PARKING SIGNS AND MARKINGS SEE DETAIL SHEET C8.0
- DRIVEWAY ARROW SEE DETAIL SHEET C8.0
- 24" SOLID WHITE STOP BAR
- DO NOT ENTER SIGN PER MUTCD R5-1
- SEE DETAIL SHEET C8.0
- 4" WIDE WHITE PARKING STRIPE
- 1" DOUBLE CHECK VALVE ASSEMBLY INSTALLED ABOVE-GROUND WITHIN PROTECTIVE ENCLOSURE PER CFPUA STANDARD DETAIL WD-7 - SEE DETAIL SHEET C8.1
- CLEANOUT TO GRADE WITH CONCRETE RING AND COVER - SEE DETAIL SHEET C8.1
- POLE-MOUNTED TRANSFORMER - COORDINATE WITH DUKE ENERGY PROGRESS



VEHICLE TRACKING TEMPLATE



Approved Construction Plan

Name	Date
Planning <i>unc</i>	<i>3-21-2019</i>
Traffic <i>W. Shadd</i>	<i>3-27-19</i>
Fire <i>James Smith</i>	<i>3-28-19</i>

City of WILMINGTON
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: *3/28/19* Permit # *2019018*
Signed: *Rich Christman*

North 811 Carolina
www.nc811.org
*** 3 Days Before Digging ***
North Carolina 811
811 or 1-800-632-4949
Remote Ticket Entry
http://nc811.org/remoteticketentry.htm

City of WILMINGTON
NORTH CAROLINA
33046
3-14-19
BARRY M. FRY

VEHICLE TRACKING LARGE PICKUP TRUCK

SHEET: **C3.4**

STIPULATION FOR REUSE

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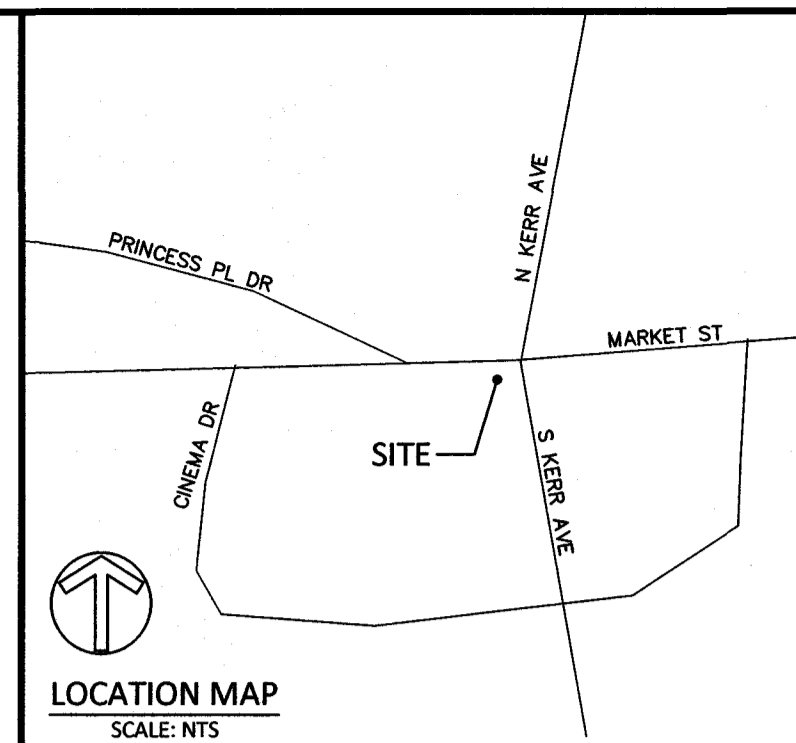
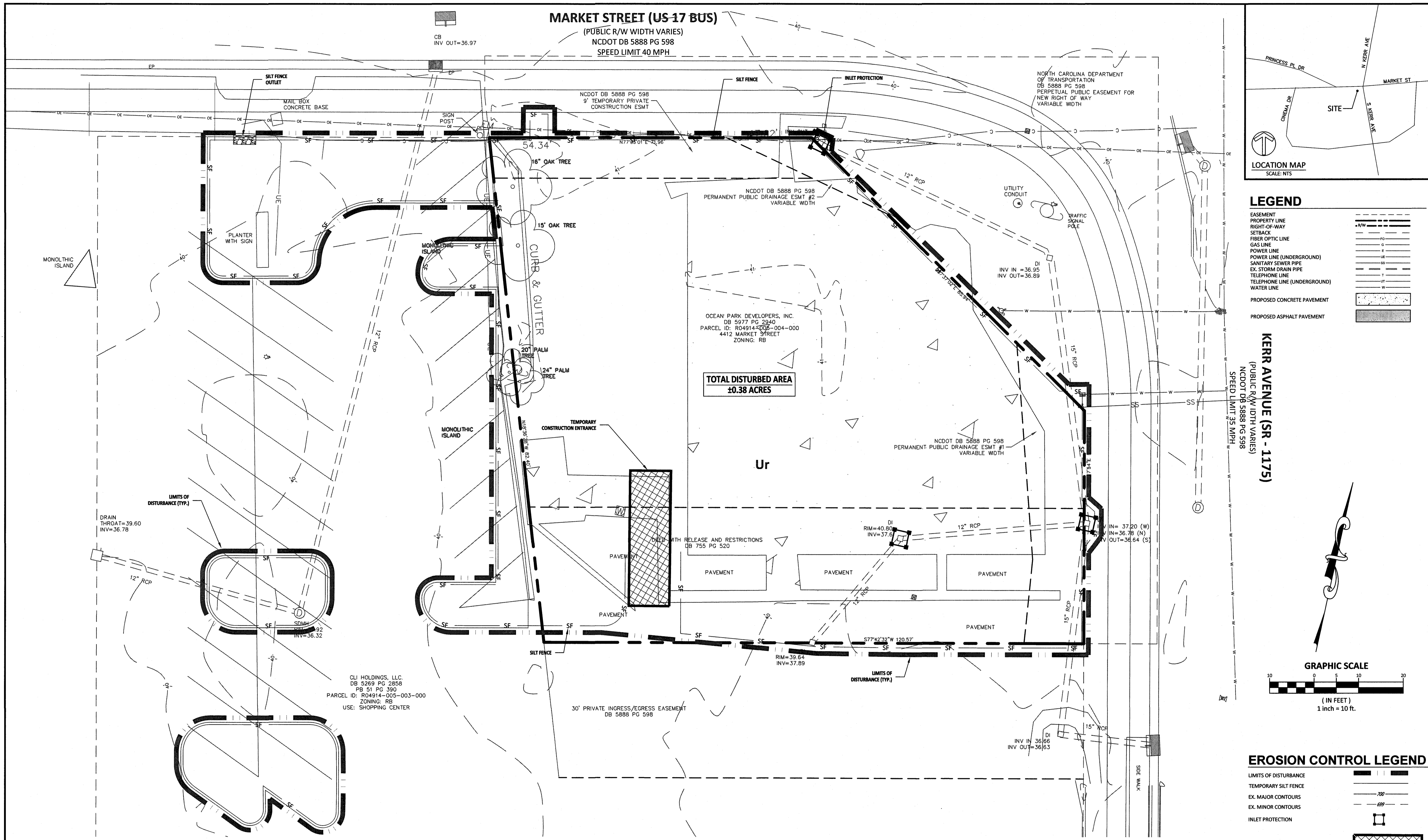
TAKE 5 OIL CHANGE
Wilmington - Market T5, LLC
4440 Market Street
Wilmington, NC 28403

MODIFICATION LOG

NO.	DATE	DESCRIPTION

JOB NUMBER:	C180043
CHECKED BY:	CT
DRAWN BY:	CDA
DATE:	11-12-2018

AMERICAN Engineering
American Engineering Associates - Southeast, P.A.
8008 Corporate Center Dr - Suite 110
Charlotte, NC 28226
704-375-2438



LEGEND

EASEMENT	---
PROPERTY LINE	---
RIGHT-OF-WAY	---
SETBACK	---
FIBER OPTIC LINE	---
GAS LINE	---
POWER LINE	---
POWER LINE (UNDERGROUND)	---
SANITARY SEWER PIPE	---
EX. STORM DRAIN PIPE	---
TELEPHONE LINE	---
TELEPHONE LINE (UNDERGROUND)	---
WATER LINE	---
PROPOSED CONCRETE PAVEMENT	---
PROPOSED ASPHALT PAVEMENT	---

STIPULATION FOR REUSE

THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE, 4412 MARKET ST., WILMINGTON, NC. IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER DATE. THE USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF A REGISTERED PROFESSIONAL ENGINEER. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

TAKE 5 OIL CHANGE
 Wilmington - Market T5, LLC
 4440 Market Street
 Wilmington, NC 28403

MODIFICATION LOG

NO.	DATE	DESCRIPTION

JOB NUMBER: C180043
 CHECKED BY: CT
 DRAWN BY: CDA
 DATE: 11-12-2018

AMERICAN Engineering
 American Engineering Associates - Southeast, P.A.
 808 Corporate Center Dr - Suite 110
 Charlotte, NC 28226
 FIRM # C-3881
 704-375-2438

EROSION AND SEDIMENT CONTROL PLAN PH1

SHEET: **C4.0**

- CONSTRUCTION SEQUENCE**
- OBTAIN ALL REQUIRED PERMITS.
 - CONTRACTOR TO SETUP AN ONSITE PRE-CONSTRUCTION MEETING WITH CITY INSPECTORS 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY.
 - MAKE ANY REQUIRED MODIFICATIONS TO THE EROSION AND SEDIMENT CONTROL PLANS. ALL MODIFICATIONS TO THE EROSION AND SEDIMENT CONTROL PLANS SHALL BE DOCUMENTED ON THE ONSITE APPROVED PLANS.
 - INSTALL EROSION CONTROL MEASURES PRIOR TO CLEARING AND GRUBBING. PERIMETER CLEARING MAY BE ALLOWED TO FACILITATE THE INSTALLATION OF PERIMETER CONTROLS.
 - CLEAR AND GRUB SITE.
 - CONSTRUCT SITE AND BUILDING. INSPECT EROSION CONTROL MEASURES PER THE NCDEQ REQUIREMENTS. ALL INSPECTIONS AND REPORTING SHALL BE IN COMPLIANCE WITH THE NCDEQ GENERAL PERMIT NCR10000 LATEST VERSION.
 - UPON FINAL STABILIZATION OF THE SITE, CONTACT CITY OF WILMINGTON TO RECEIVE CLEARANCE TO REMOVE EROSION CONTROL MEASURES.

SOIL MAP LEGEND

UR - URBAN LAND COMPLEX, 2 TO 8 PERCENT SLOPES

Approved Construction Plan

Name	Date
Planning <i>UNC</i>	3.27.2019
Traffic <i>W. Smith</i>	3-29-19
Fire <i>Jane Smith</i>	3.28.19

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: 3/28/19 Permit # 2019018
 Signed: *Rich Christensen*

North Carolina 811
 www.nc811.org
 3 Days Before Digging
 811 or 1-800-432-4949
 Remote Ticket Entry
 http://nc811.org/remoteticketentry.htm



MARKET STREET (US-17 BUS)

(PUBLIC R/W WIDTH VARIES)
NCDOT DB 5888 PG 598
SPEED LIMIT 40 MPH

LOCATION MAP

SCALE: NTS

LEGEND

- EASEMENT
- PROPERTY LINE
- RIGHT-OF-WAY
- SETBACK
- FIBER OPTIC LINE
- GAS LINE
- POWER LINE
- POWER LINE (UNDERGROUND)
- SANITARY SEWER PIPE
- EX. STORM DRAIN PIPE
- TELEPHONE LINE
- TELEPHONE LINE (UNDERGROUND)
- WATER LINE
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT

STIPULATION FOR REUSE

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TAKE 5 OIL CHANGE

Wilmington - Market T5, LLC
4440 Market Street
Wilmington, NC 28403

MODIFICATION LOG

NO.	DATE	DESCRIPTION

JOB NUMBER: C180043

CHECKED BY: CT

DRAWN BY: CDA

DATE: 11-12-2018

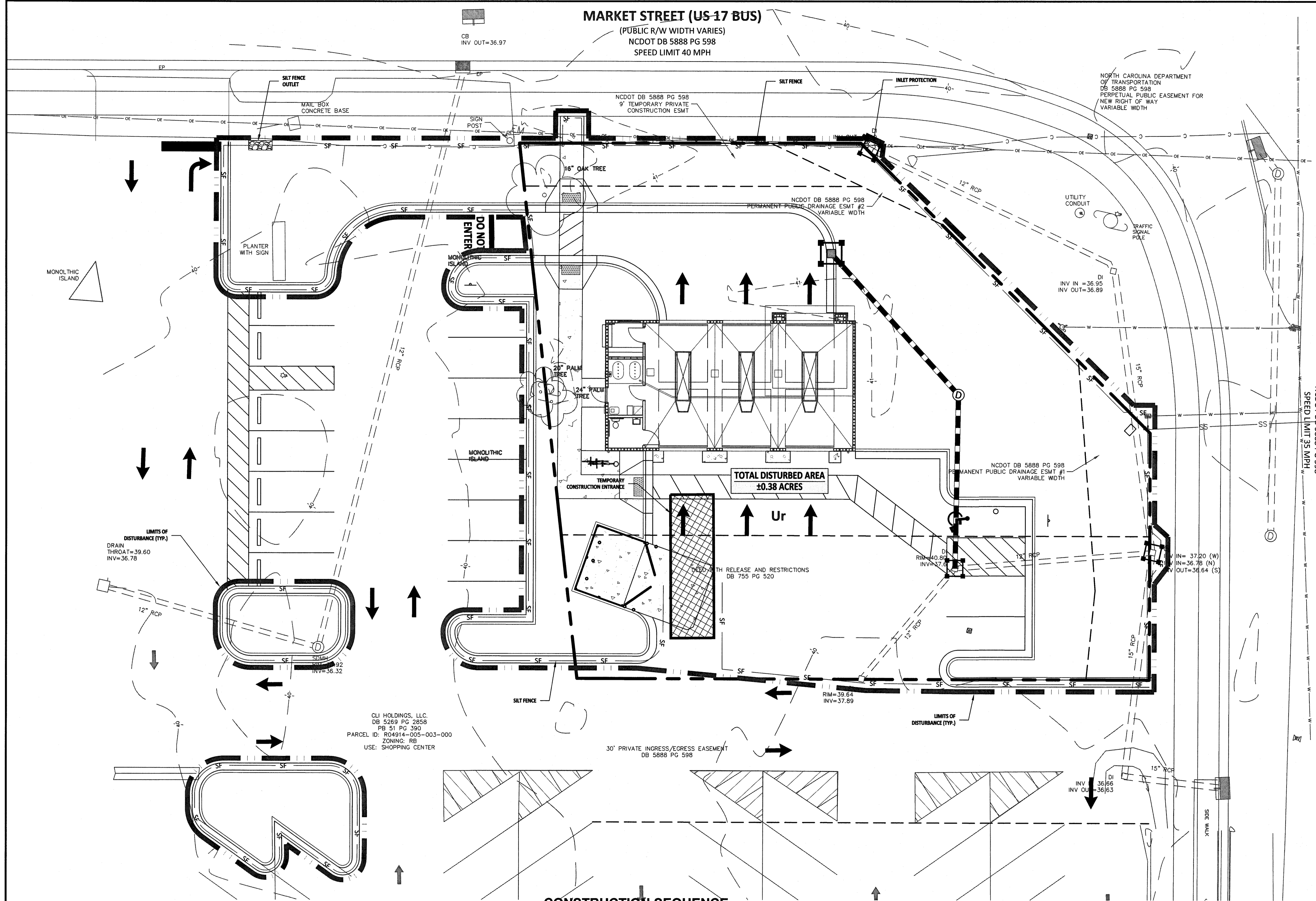
FIRM # C-3881

AMERICAN
Engineering

American Engineering Associates - Southeast, P.A.
10000 American Dr - Suite 110
Charlotte, NC 28226

EROSION AND SEDIMENT CONTROL PLAN PH2

SHEET: **C4.1**



TOTAL DISTURBED AREA ±0.38 ACRES

Ur

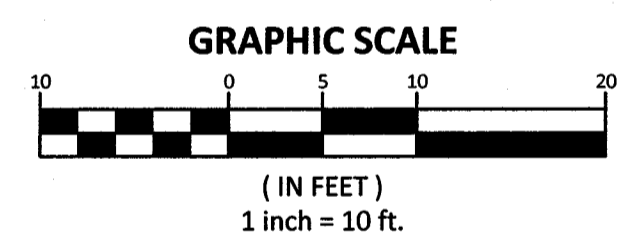
WITH RELEASE AND RESTRICTIONS
DB 755 PG 520

CONSTRUCTION SEQUENCE

1. OBTAIN ALL REQUIRED PERMITS.
2. CONTRACTOR TO SETUP AN ONSITE PRE-CONSTRUCTION MEETING WITH CITY INSPECTORS 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY.
3. MAKE ANY REQUIRED MODIFICATIONS TO THE EROSION AND SEDIMENT CONTROL PLANS. ALL MODIFICATIONS TO THE EROSION AND SEDIMENT CONTROL PLANS SHALL BE DOCUMENTED ON THE ONSITE APPROVED PLANS.
4. INSTALL EROSION CONTROL MEASURES PRIOR TO CLEARING AND GRUBBING. PERIMETER CLEARING MAY BE ALLOWED TO FACILITATE THE INSTALLATION OF PERIMETER CONTROLS.
5. CLEAR AND GRUB SITE.
6. CONSTRUCT SITE AND BUILDING. INSPECT EROSION CONTROL MEASURES PER THE NCDOT REQUIREMENTS. ALL INSPECTIONS AND REPORTING SHALL BE IN COMPLIANCE WITH THE NCDOT GENERAL PERMIT NCR10000 LATEST VERSION.
7. UPON FINAL STABILIZATION OF THE SITE, CONTACT CITY OF WILMINGTON TO RECEIVE CLEARANCE TO REMOVE EROSION CONTROL MEASURES.

SOIL MAP LEGEND

UR - URBAN LAND COMPLEX, 2 TO 8 PERCENT SLOPES



EROSION CONTROL LEGEND

- LIMITS OF DISTURBANCE
- TEMPORARY SILT FENCE
- EX. MAJOR CONTOURS
- EX. MINOR CONTOURS
- INLET PROTECTION
- TEMPORARY CONSTRUCTION ENTRANCE
- SILT FENCE OUTLET

Approved Construction Plan

Name	Date
Planning: <i>UNC</i>	<i>3-27-2019</i>
Traffic: <i>W. Stiles</i>	<i>3-29-19</i>
Fire: <i>James Menotti</i>	<i>3-29-19</i>

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: *2/28/19* Permit # *2019018*
Signed: *Leah Carter*

North 811
www.811.org
*** 3 Days Before Digging ***
North Carolina 811
811 or 1-800-632-4949
Remote Ticket Entry
http://nc811.org/remoteticketentry.htm

NORTH CAROLINA
Professional Engineer
33046
5-14-19
BARRY M. FAY

MARKET STREET (US-17 BUS)

(PUBLIC R/W WIDTH VARIES)
 NCDOT DB 5888 PG 598
 SPEED LIMIT 40 MPH

LOCATION MAP
 SCALE: NTS

LEGEND

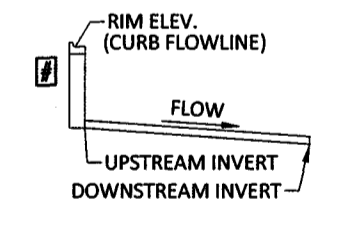
- EASEMENT
- PROPERTY LINE
- RIGHT-OF-WAY
- SETBACK
- FIBER OPTIC LINE
- GAS LINE
- POWER LINE
- POWER LINE (UNDERGROUND)
- SANITARY SEWER PIPE
- EX STORM DRAIN PIPE
- TELEPHONE LINE
- TELEPHONE LINE (UNDERGROUND)
- WATER LINE
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CATCH BASIN & PIPE
- PROPOSED JUNCTION BOX & PIPE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- DRAINAGE AREA BOUNDARY
- DRAINAGE ARROW
- TOP AND BOTTOM CURB ELEVATIONS
- SPOT ELEVATION

TOTAL PROPERTY AREA: 12,443 SF (0.29 ACRES)
 EXISTING PROPERTY IMPERVIOUS AREA: 8,840 SF (0.20 ACRES)
 PROPOSED PROPERTY IMPERVIOUS AREA: 8,021 SF (0.18 ACRES)
 EXISTING PROPERTY IMPERVIOUS %: 71%
 PROPOSED PROPERTY IMPERVIOUS %: 64%
 TOTAL PROPERTY DISTURBED AREA: 16,319 SF (0.37 ACRES)
 OFFSITE NEW IMPERVIOUS AREA: 28 SF (0.00 ACRES)
 TOTAL PROJECT NEW IMPERVIOUS AREA: 8,049 SF (0.18 ACRES)

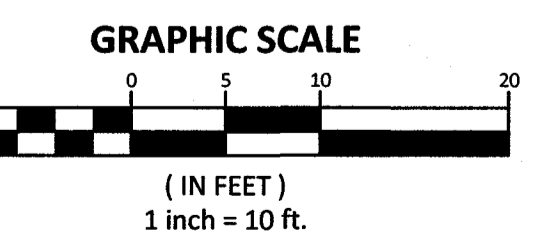
STORM DRAINAGE TABLE

STR. DATA			PIPE DATA							
STR. UP	STR. TYPE	RIM ELEV.	STR. UP	STR. DOWN	LENGTH FT	INV UP	INV DOWN	SLOPE %	DIA. IN	TYPE
A1	CB	40.62	A1	A2	40	37.98	37.78	0.50%	12	HDPE
A2	JB	40.92	A2	EX-2	36	37.78	37.60	0.50%	12	HDPE
EX-1	DI	39.64	EX-1	EX-2	30	37.89	37.60	0.96%	12	RCP
EX-2	DI	40.80	EX-2	EX-3	42	37.60	37.20	0.96%	12	RCP
EX-3	DI	40.52								

TYPE CODE:
 DI = DROP INLET
 CB = CATCH BASIN
 JB = JUNCTION BOX
 HDPE = HIGH-DENSITY POLYETHYLENE PIPE



PROPERTY OWNER:
 OCEAN PARK DEVELOPERS, INC.
 4722 HWY 17 BYPASS SOUTH
 MYRTLE BEACH, SC 29588



STIPULATION FOR REUSE

THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE, 4412 MARKET ST., WILMINGTON, NC. IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER DATE. THE USE OF THIS DRAWING FOR ANY OTHER PROJECT REQUIRES THE SERVICES OF A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

TAKE 5 OIL CHANGE
 Wilmington - Market T5, LLC
 4440 Market Street
 Wilmington, NC 28403

MODIFICATION LOG

NO.	DATE	DESCRIPTION

JOB NUMBER: C180043
 CHECKED BY: CT
 DRAWN BY: CDA
 DATE: 11-12-2018

AMERICAN Engineering
 American Engineering Associates - Southeast, P.A.
 8008 Corporate Center Dr., Suite 110
 Charlotte, NC 28226
 704-375-2498

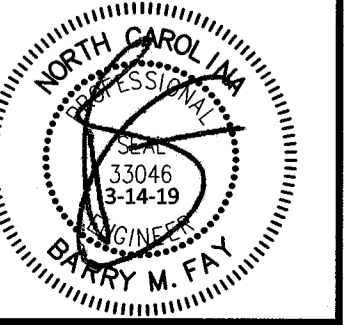
GRADING PLAN

SHEET: **C5.0**

Approved Construction Plan
 Name: mc Date: 3-27-2019
 Planning: W. M. D. 3-29-19
 Traffic: J. M. M. 3-20-19
 Fire: J. M. M. 3-20-19

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: 3/28/19 Permit # 2019018
 Signed: [Signature]

North 811
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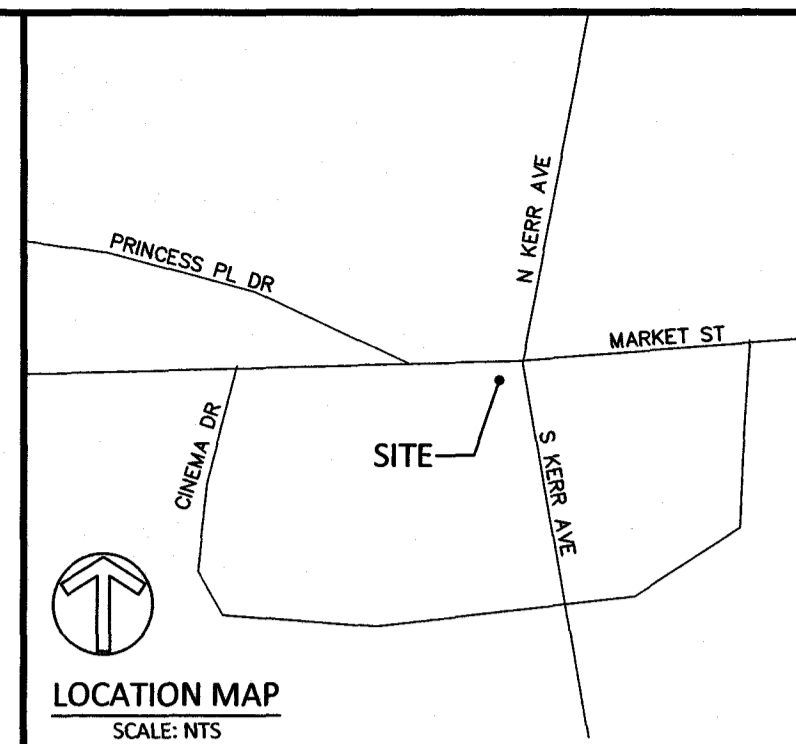


MARKET STREET (US 17 BUS)

(PUBLIC R/W WIDTH VARIES)

NCDOT DB 5888 PG 598

SPEED LIMIT 40 MPH



LEGEND

EASEMENT	---
PROPERTY LINE	---
RIGHT-OF-WAY	---
SETBACK	---
FIBER OPTIC LINE	---
GAS LINE	---
POWER LINE	---
POWER LINE (UNDERGROUND)	---
SANITARY SEWER PIPE	---
EX. STORM DRAIN PIPE	---
TELEPHONE LINE	---
TELEPHONE LINE (UNDERGROUND)	---
WATER LINE	---
PROPOSED CONCRETE PAVEMENT	---

KEY NOTES

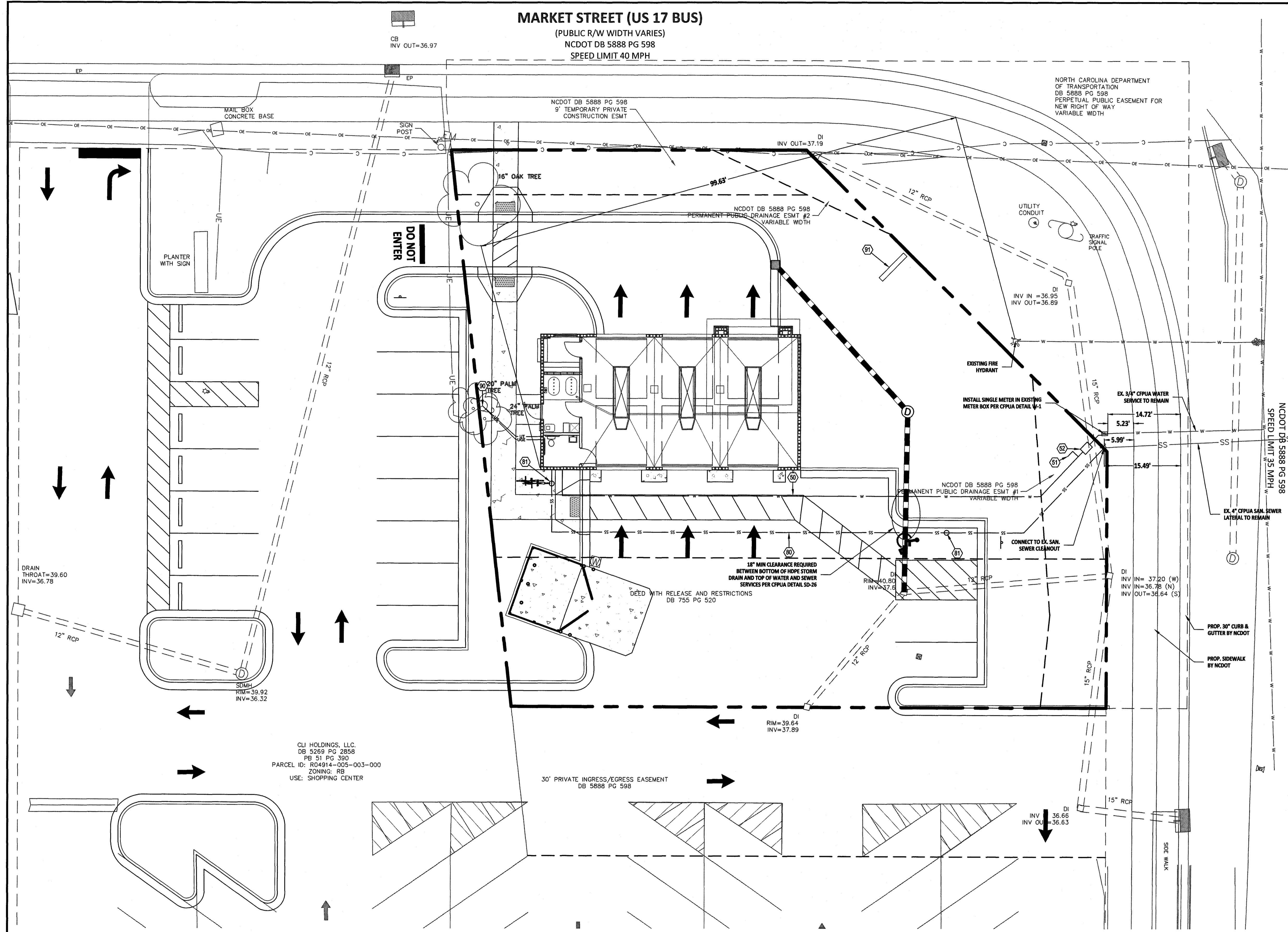
- 50 1" PVC DOMESTIC WATER LINE
 - 51 IRRIGATION LATERAL - TO BE SIZED BY LANDSCAPE CONTRACTOR
 - 52 1" DOUBLE CHECK VALVE ASSEMBLY INSTALLED ABOVE-GROUND WITHIN PROTECTIVE ENCLOSURE PER CFPUA STANDARD DETAIL EM-2 SHEET C8.1
 - 80 4" PVC SDR-35 SEWER SERVICE AT MINIMUM 1% SLOPE*
 - 81 CLEANOUT TO GRADE WITH CONCRETE RING AND COVER - SEE DETAIL SHEET C8.1
 - 90 POLE-MOUNTED TRANSFORMER - COORDINATE WITH DUKE ENERGY PROGRAM
 - 91 POLE SIGN BY OTHERS - CONTRACTOR TO PROVIDE POWER TO SIGN LOCATION
- * 4" SEWER SERVICE IS ALLOWED BY CFPUA DUE TO BUILDING'S ONLY CONNECTIONS OF A MOP SINK AND BATHROOM. PIT AREAS DRAIN TO WASTE OIL CONTAINERS THAT ARE EMPTIED BY TANKER TRUCK.

WATER AND SEWER CAPACITY NEEDS

CURRENT WATER USAGE:	0 GPD
PROPOSED WATER USAGE:	300 GPD
CURRENT SEWER USAGE:	0 GPD
PROPOSED SEWER USAGE:	300 GPD

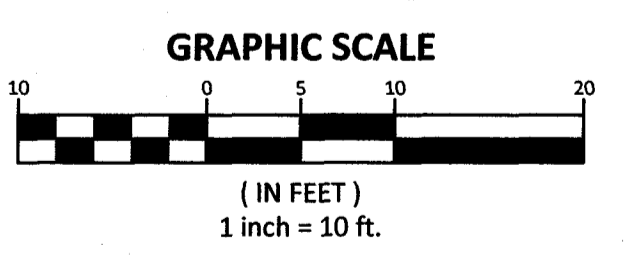
Calculations based on 15 ANCAC 18 C. 0409
BUSINESS WITHOUT SHOWER: 25 GAL/PERSON/SHIFT DAILY
25 GAL X 6 PEOPLE X 2 SHIFTS: 300 GPD

KERR AVENUE (SR - 1175)
(PUBLIC R/W WIDTH VARIES)
NCDOT DB 5888 PG 598
SPEED LIMIT 35 MPH



CU HOLDINGS, LLC
DB 5269 PG 2858
PB 51 PG 390
PARCEL ID: R04914-005-003-000
ZONING: RB
USE: SHOPPING CENTER

30' PRIVATE INGRESS/EGRESS EASEMENT
DB 5888 PG 598



STIPULATION FOR REUSE

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TAKE 5 OIL CHANGE
Wilmington - Market T5, LLC
4440 Market Street
Wilmington, NC 28403

MODIFICATION LOG

NO.	DATE	DESCRIPTION

JOB NUMBER:	C180043
CHECKED BY:	CT
DRAWN BY:	CDA
DATE:	11-12-2018

AMERICAN Engineering
American Engineering Associates - Southeast, P.A.
1008 Corporate Center Dr - Suite 110
Charlotte, NC 28226
FIRM # C-3881
704-375-2438

UTILITY PLAN

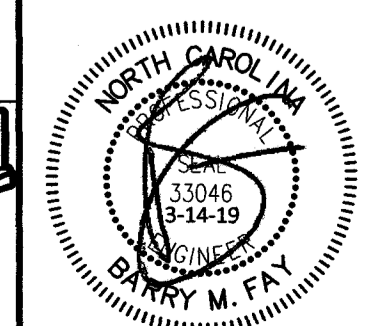
SHEET: **C6.0**

Approved Construction Plan

Name	Date
YMC	3-27-2019
Traffic	3-29-19
Fire	3-29-19

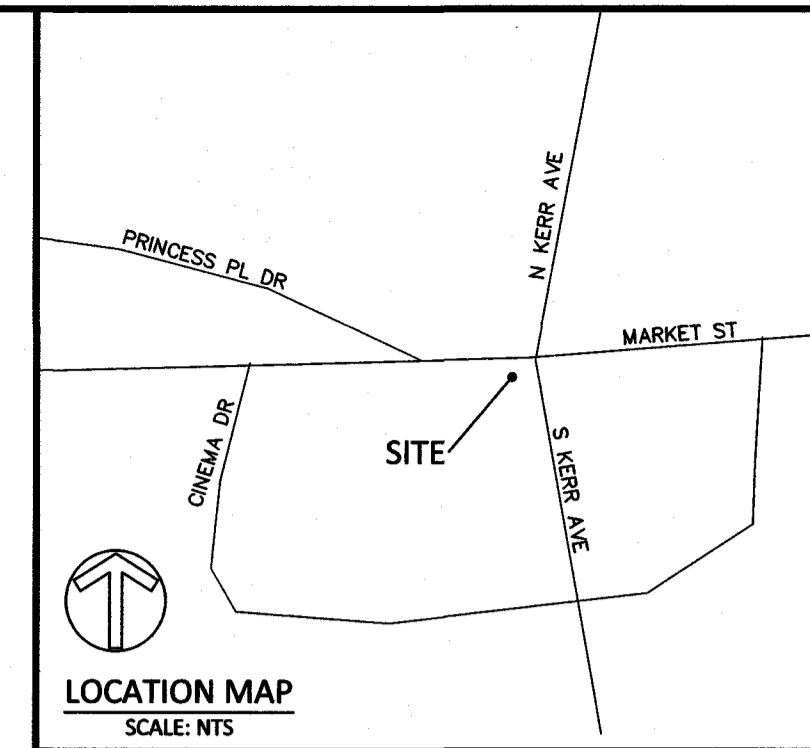
WILMINGTON
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 3/28/19 Permit: 2019018
Signed: Jack Christian

North Carolina 811
3-14-19
North Carolina 811
811 or 1-800-652-4949
Remote Ticket Entry
http://nc811.org/remoteticketentry.htm



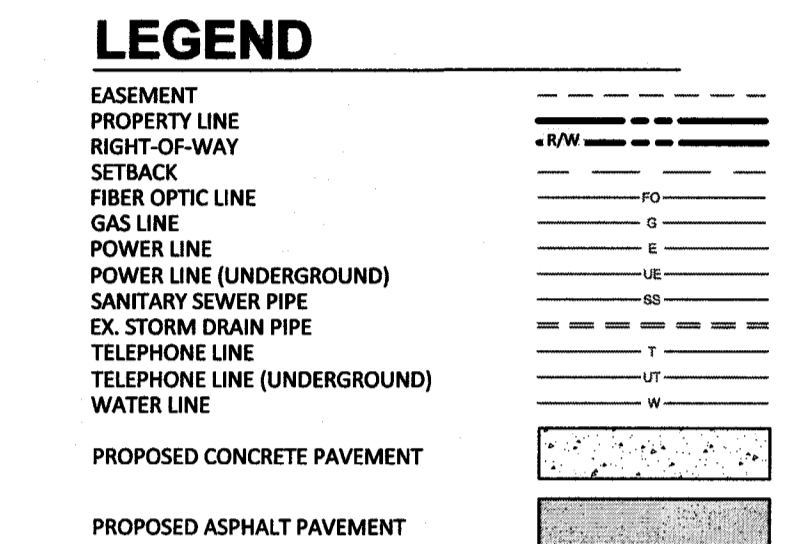
MARKET STREET (US 17 BUS)

(PUBLIC R/W WIDTH VARIES)
NCDOT DB 5888 PG 598
SPEED LIMIT 40 MPH



STIPULATION FOR REUSE
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TAKE 5 OIL CHANGE
Wilmington - Market T5, LLC
4440 Market Street
Wilmington, NC 28403



OWNER:
OCEAN PARK DEVELOPERS, INC.
4722 HWY 17 BYPASS SOUTH
MYRTLE BEACH, SC 29588

PROPOSED LAND USE:
AUTOMOTIVE SERVICES, EXCEPT REPAIR AND TOWING

GENERAL NOTES

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.

MODIFICATION LOG

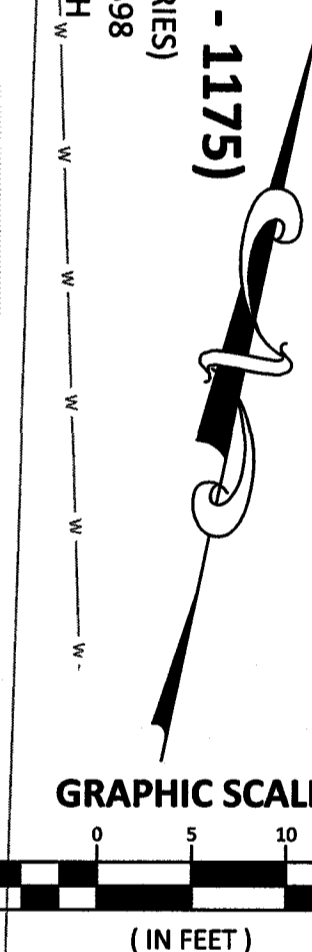
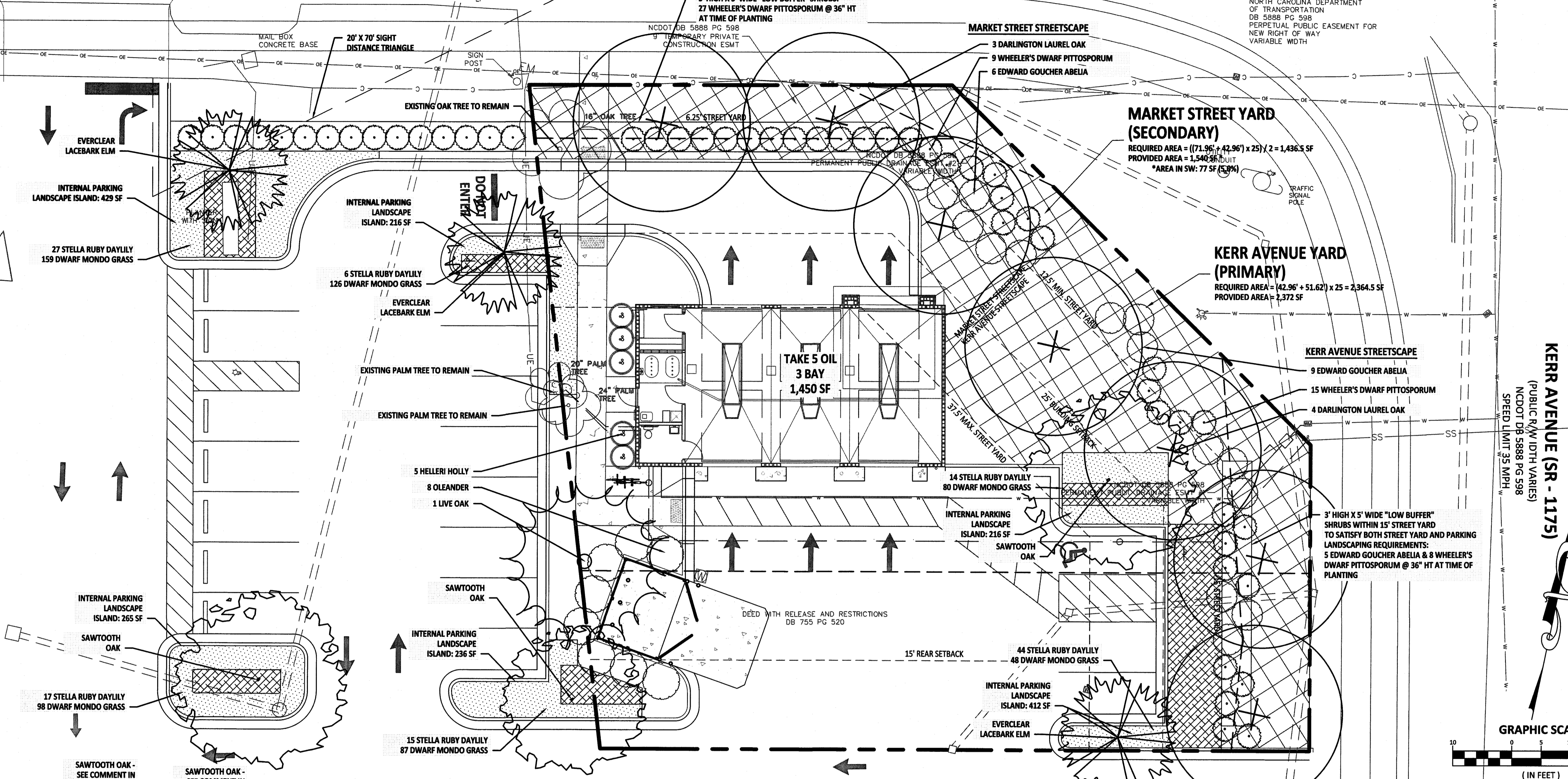
NO.	DESCRIPTION	DATE

JOB NUMBER: C180043
CHECKED BY: CT
DRAWN BY: CDA
DATE: 11-12-2018

1898-C-3888-1 # WRM
AMERICAN
Engineering
Associates - Southeast, P.A.
American Engineering Associates - Southeast, P.A.
1101 W. Market Street, Suite 110
Charlotte, NC 28226
704-375-2438

LANDSCAPE PLAN

SHEET: **C7.0**



PLANT SCHEDULE

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	COMMENTS
TREES						
(Symbol)	5	Quercus acutissima	Sawtooth Oak	2.5" Cal. Min.	B # B	TREES TO BE TRIMMED TO A HEIGHT OF 10'
(Symbol)	7	Quercus laurifolia 'Darlington'	Darlington Laurel Oak	2.5" Cal. Min.	B # B	
(Symbol)	1	Quercus virginiana	Live Oak	2.5" Cal. Min.	B # B	
(Symbol)	3	Ulmus parvifolia 'Everclear'	Everclear Lacebark Elm	2.5" Cal. Min.	B # B	
SHRUBS						
(Symbol)	15	Abelia grandiflora 'Edward Goucher'	Edward Goucher Abelia	12" Min. Ht.	B # B/Cont	(5) 36" HT AT TIME OF PLANTING
(Symbol)	5	Ilex crenata 'Hellen'	Hellen Holly	12" Min. Ht.	B # B/Cont	
(Symbol)	8	Nenium oleander	Oleander	12" Min. Ht.	B # B/Cont	
(Symbol)	51	Pittosporum tobira 'Wheeler's Dwarf'	Wheeler's Dwarf Pittosporum	12" Min. Ht.	B # B/Cont	(35) 36" HT AT TIME OF PLANTING
GROUNDCOVERS						
(Symbol)	152	Heimerocallis 'Ruby Stella'	Ruby Stella Daylily	1 Gal.	Cont.	36" O.C.
(Symbol)	723	Ophiopogon japonicus	Dwarf Mondo Grass	1 Qt.	Cont.	15" O.C.

REQUIRED CALCULATIONS

OVERALL SITE TREE CANOPY COVERAGE:
REQUIRED: MINIMUM 15 TREES PER DISTURBED ACREAGE
DISTURBED PROJECT AREA: 0.38 ACRES x 15 = 6 TREES
PROVIDED: 16 TREES

STREET YARD REQUIREMENTS:
KERR AVENUE:
REQUIRED: 1 TREE / 600 SF = 4 TREES
6 SHRUBS / 600 SF = 24 SHRUBS
PROVIDED: 4 TREES AND 24 SHRUBS

MARKET STREET:
REQUIRED: 1 TREE / 600 SF = 3 TREES
6 SHRUBS / 600 SF = 15 SHRUBS
PROVIDED: 3 TREES AND 15 SHRUBS

INTERIOR PARKING REQUIREMENTS:
20% CANOPY COVERAGE
PARKING: 2,754 SF (18 SPACES 8.5' x 18')
DRIVE AISLES: 6,435 SF
(2,754 SF + 6,435 SF) x 0.20 = 1,838 SF
(REQUIRED: 3 LARGE TREES (TO PROVIDE 707 SF/TREE OF CANOPY COVERAGE WITHIN PROJECT BOUNDARIES))
PROVIDED: 5 LARGE TREES - 5,656 SF CANOPY COVERAGE (1 TREE PER REQUIRED LANDSCAPE ISLAND)

PARKING LANDSCAPING:
REQUIRED: LOW BUFFER BETWEEN PARKING AND ROW
PROVIDED: EVERGREEN SHRUBS AS PART OF THE STREET YARD REQUIREMENT ALONG KERR AVE. EVERGREEN SHRUBS SEPARATE FROM STREET YARD REQUIREMENT ALONG MARKET ST.

FOUNDATION PLANTING:
REQUIRED: 12% OF BUILDING FRONTAGE ADJACENT TO PARKING
432 SF (WEST FACADE) OF BUILDING AREA x 12% = 52 SF
PROVIDED: 106 SF PLANTING AREA WITH 5 SHRUBS

MITIGATION FOR THE REMOVAL OF ONE PROTECTED TREE:
REQUIRED: MITIGATION FOR 1 LIVE OAK
PROVIDED: 1 LIVE OAK AS PER SEC. 18-460 (a)

Approved Construction Plan

Name	Date
Planning: <u>UNC</u>	<u>3-27-2019</u>
Traffic: <u>W. Filkins</u>	<u>3-27-19</u>
Fire: <u>James Messitt</u>	<u>3-28-19</u>

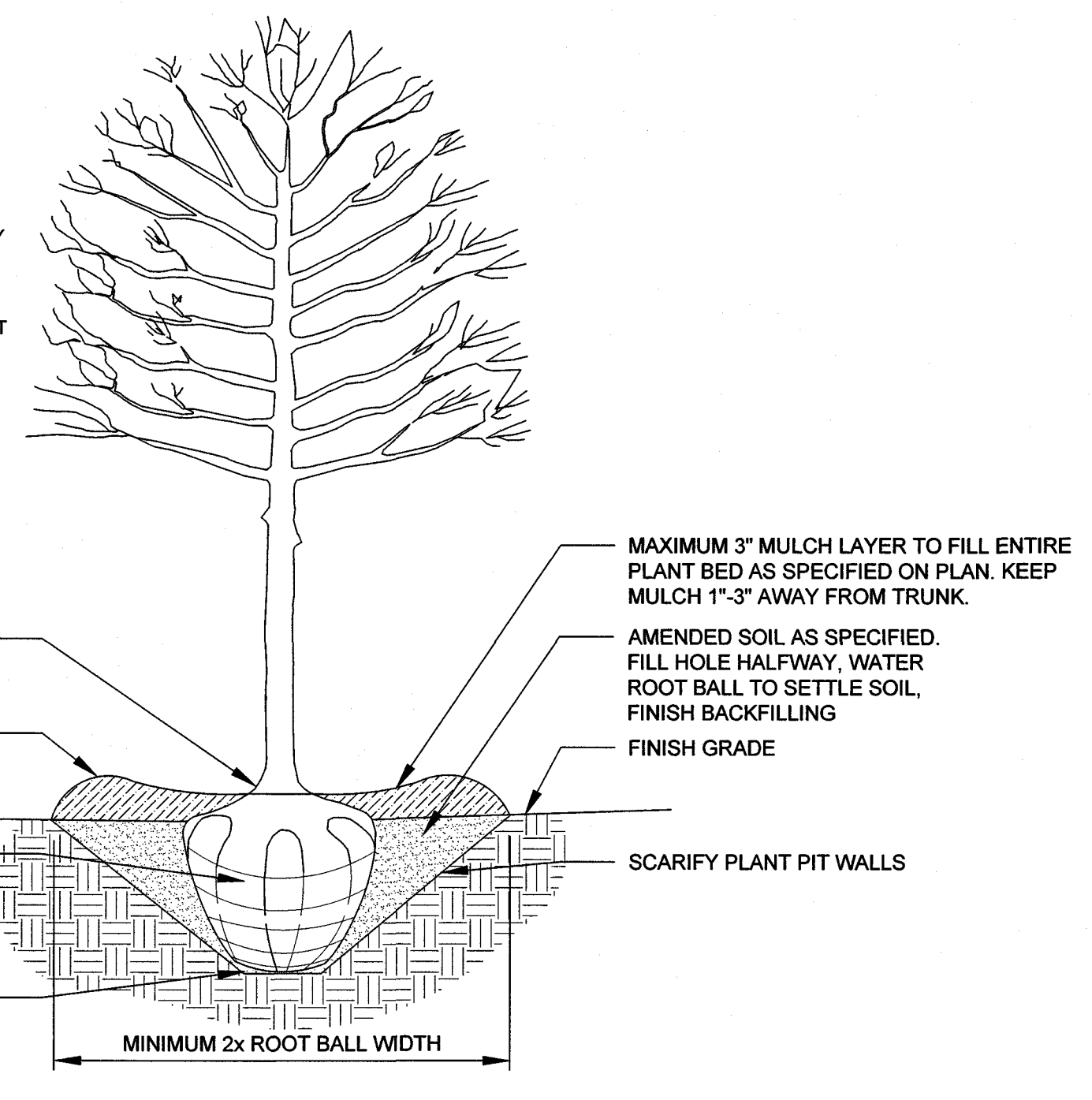
CITY OF WILMINGTON
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 3/20/19 Permit: 2019D18
Signed: [Signature]

North 811
3 Days Before Digging
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811 or 1-800-632-4969
Remote Ticket Entry
http://nc811.org/remoteticketentry.htm

NORTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
No. 33046
Exp. 9-27-19
BARRY M. PAX

PLANT DETAILS

- NOTES**
1. REMOVE WIRE AND NYLON TWINE FROM BALL AND CANOPY.
 2. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
 3. DO NOT STAKE OR WRAP TRUNK UNLESS TREE HAS A LARGE CROWN.
 - 3.1. PLANTING SITE IS CONSISTENTLY WINDY OR IS A STEEP SLOPE
 - 3.3. PLANTING SITE IS SUSCEPTIBLE TO VANDALISM.
 4. REMOVE ALL TAGS AND LABELS FROM PLANT MATERIAL.
 5. PRUNE DEAD, BROKEN, RUBBING OR CROSSING BRANCHES, AND ANY SUCKERS AFTER PLANTING. DO NOT TOP TREES.

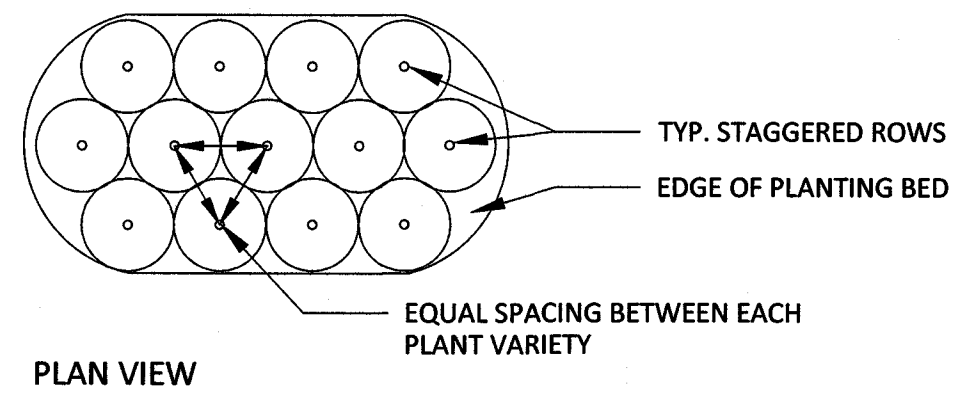
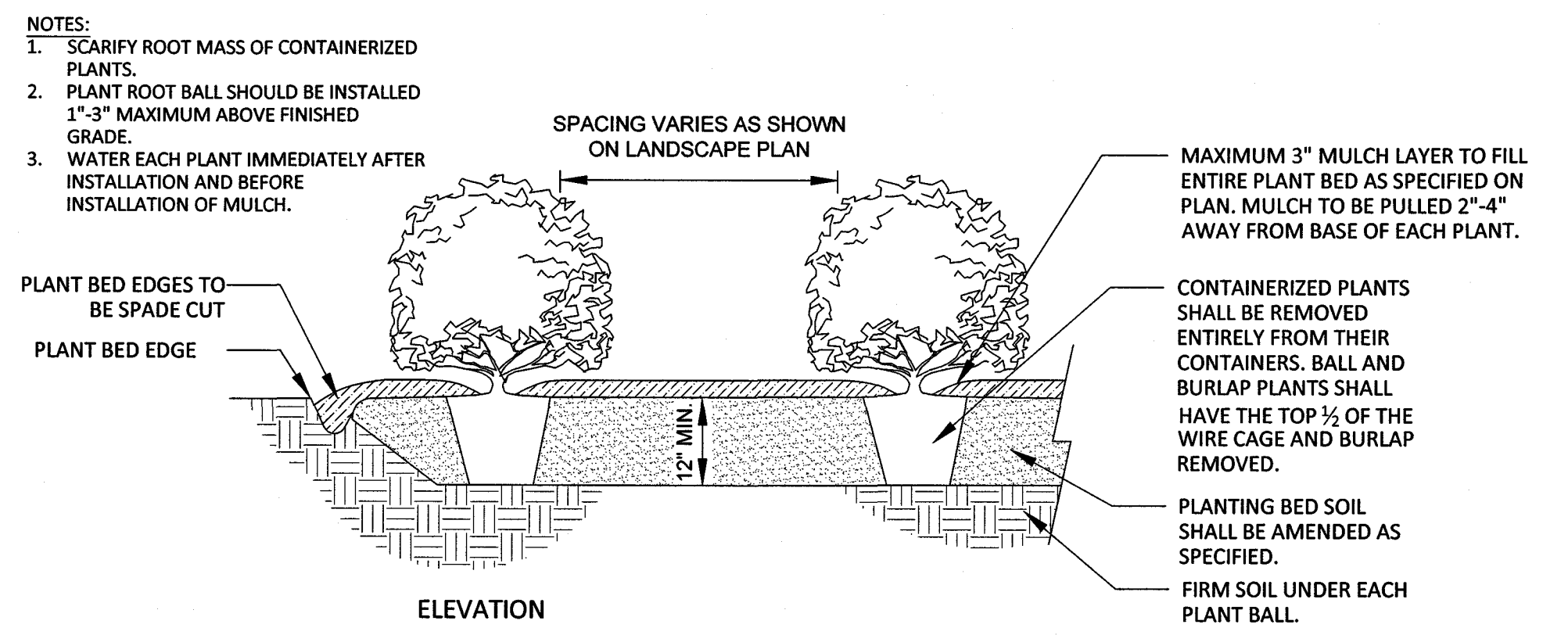


ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004)

FOR EXAMPLE:	CALIPER	HEIGHT (RANGE)	MAX. HEIGHT	MIN. ROOT BALL DIA.	MIN. ROOT BALL DEPTH
	2"	12'-14'	16'	24"	16"
	3"	14'-16'	18'	32"	21"

TYPICAL TREE PLANTING

(FOR SINGLE AND MULTI-STEM TREES) NOT TO SCALE



TYPICAL SHRUB AND GROUNDCOVER PLANTING

NOT TO SCALE

PLANT NOTES

- PLANT INSTALLATION & MAINTENANCE NOTES:**
1. ALL LANDSCAPING SHALL BE OF NURSERY STOCK QUALITY AND SHALL BE INSTALLED IN A SOUND, WORKMANLIKE MANNER AND ACCORDING TO ACCEPTED GOOD PLANTING PROCEDURES.
 2. ALL LANDSCAPING SHALL BE ADAPTABLE TO CLIMATIC CONDITIONS OF THE AREA.
 3. LARGE TREES SHOULD NOT BE PLANTED WITHIN EASEMENTS AND A MINIMUM OF 6' FROM UTILITY LINES, UNLESS OTHERWISE SPECIFIED BY REVIEWING AGENCY. SHRUBS MAY BE PLANTED IN EASEMENTS, BUT A MINIMUM OF 3' FROM UTILITY LINES, UNLESS OTHERWISE SPECIFIED BY REVIEWING AGENCY.
 4. ALL LANDSCAPING SHALL BE MAINTAINED IN GOOD CONDITION.
 5. ALL LANDSCAPING SHALL AT ALL TIMES PRESENT A HEALTHY, NEAT, CLEAN, ORDERLY, DISEASE-FREE AND PEST-FREE APPEARANCE.
 6. ALL LANDSCAPING SOIL AND FILL SHALL BE FREE FROM WEEDS, REFUSE, AND DEBRIS AT ALL TIMES.
 7. EXCESS SOIL SHALL BE DISPOSED OF IN A LEGAL MANNER.
 8. ANY DEAD PLANT MATERIAL OR MATERIAL THAT FAILS TO SHOW HEALTHY GROWTH MUST BE REMOVED WITHIN 30 DAYS.
 9. REPLACEMENT OF REMOVED PLANT MATERIAL MUST TAKE PLACE WITHIN 90 DAYS OF REMOVAL OR NOTIFICATION BY THE CITY, WHICHEVER OCCURS FIRST.
 10. ANY REPLACEMENT PLANT MATERIAL MUST MEET THE SIZE AND OTHER CHARACTERISTICS OF NEWLY PLANTED MATERIAL.
 11. IF USING STAKES AND GUYS SUCH SUPPORTS SHALL BE DESIGNED SO AS TO PROTECT TREES AND SHRUBS FROM INJURY. TREES AND SHRUBS SHALL BE FASTENED TO THE SUPPORT WITH AN ACCEPTABLE COMMERCIAL TREE TIE OF PLASTIC OR HOSE-COVERED WIRE. AFTER THE WARRANTY PERIOD HAS ENDED, STAKES AND GUYS SHALL BE REMOVED.
 12. CONTRACTOR IS RESPONSIBLE TO CONTACT MISS UTILITIES (811) 48 HOURS PRIOR TO COMMENCEMENT OF WORK. CONTACT LANDSCAPE ARCHITECT IF FIELD CONFLICTS/DISCREPANCIES ARISE.
 13. CONTRACTOR RESPONSIBLE TO VERIFY PLANT COUNTS. PLANTING PLAN SHALL GOVERN IN THE CASE OF A CONFLICT.
 14. ALL PLANTS SHALL MEET OR EXCEED STANDARDS AS DETERMINED BY THE AMERICAN STANDARD OF NURSERY STOCK.
 15. CONTRACTOR SHALL WARRANTY ALL PLANTS FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
 16. WHEN POSSIBLE, PLANTING SHALL BE INSTALLED BETWEEN SEPTEMBER 1 - JUNE 30TH AND IN FAVORABLE WEATHER CONDITIONS. WHEN PLANTING MUST BE PERFORMED OUTSIDE OF SPECIFIED DATES, PLANTS MUST BE WATERED ON A REGULAR BASIS TO ENSURE VIABILITY.
 17. PLANT VARIETIES, SIZES AND LAYOUT SHALL CONFORM ACCURATELY TO THE LANDSCAPE PLAN. CONTACT LANDSCAPE ARCHITECT FOR FIELD CONFLICTS.
 18. PLANT SUBSTITUTIONS SHALL BE BROUGHT TO THE ATTENTION OF AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

TOPSOIL / PLANTING MIX MINIMUM REQUIREMENTS:

1. TOPSOIL/PLANTING MIX SHOULD BE NATURAL, FERTILE, AGRICULTURAL SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHOULD BE UNIFORM COMPOSITION THROUGHOUT, WITH ADMIXTURE OF SUBSOIL. IT SHOULD BE FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, STICKS AND OTHER EXTRANEIOUS MATTER. TOPSOIL SHOULD NOT BE USED WHILE IN A FROZEN OR MUDDY CONDITION.
2. TOPSOIL/PLANTING MIX SHALL HAVE AN ACIDITY RANGE OF PH 5.5-7.0 AND THE FOLLOWING COMPOSITION:

CLAY (RED CLAY, WELL PULVERIZED)	MINIMUM 10%; MAXIMUM 35%
COMPOST*/ORGANIC	MINIMUM 5%; MAXIMUM 10%
SILT	MINIMUM 30%; MAXIMUM 50%
COARSE SAND (FREE OF ROCKS, 0.5 TO 1.0 MM F)	MINIMUM 30%; MAXIMUM 45%
3. ORGANIC MATERIAL SUCH AS SAWDUST OR LEAF MOLD THAT HAS COMPLETED THE DECOMPOSITION PROCESS
4. RECOMMENDATIONS:

CALCIUM	55 - 80%
MAGNESIUM	10 - 30%
POTASSIUM	5 - 8%

SEEDING SCHEDULE FOR LAWNS & SLOPES (MAXIMUM 3:1):

DATE	TYPE	PLANTING RATE
AUG 15 - NOV 1	TALL FESCUE	300 LBS/ACRE
NOV 1 - MAR 1	TALL FESCUE AND ABRUZZI RYE	300 LBS/ACRE OR ANNUAL RYE
MAR 1 - APR 15	TALL FESCUE OR HARD FESCUE	300 LBS/ACRE
MAR 1 - JUL 15	HULLED COMMON BERMUDA GRASS OR HYBRID BERMUDA GRASS OR CENTIPEDE GRASS OR ZOYSIA GRASS OR ST. AUGUSTINE GRASS	200 LBS/ACRE
APR 15 - JUN 30	WEeping LOVE GRASS OR BAHIA GRASS	25 LBS/ACRE
JUL 1 - AUG 15	TALL FESCUE AND *** BROWNTOP MILLET *** OR SORGHUM-SUDAN HYBRIDS	120 LBS/ACRE 35 LBS/ACRE 30 LBS/ACRE

STREET YARDS

PROJECT NAME: TAKE 5 OIL CHANGE
 MINIMUM STREET YARD WIDTH: 12.5 FT
 MAXIMUM STREET YARD WIDTH: 37.5 FT
 MINIMUM STREET YARD AREA: 25 MULTIPLIER
 KERR AVE REQUIRED STREET YARD: 2,365 SF (PRIMARY)
 KERR AVE PROVIDED STREET YARD: 2,463 SF
 MARKET ST REQUIRED STREET YARD: 1,437 SF
 MARKET ST PROVIDED STREET YARD: 1,807 SF

1. No plantings over thirty (30) inches in height allowed in vision clearance.
2. Protection from vehicular traffic provided around all landscaping with a minimum height of six (6) inches.
3. Owner is responsible for maintenance to ensure plant material lives and prospers.
4. Planting plans shall be approved by Landscape Designer prior to installation.
5. Landscaping shall be required at the ends of all parking rows.
6. A low buffer shall be required where parking is within fifty (50) feet of the Right-of-Way.
7. Landscaped islands shall be a minimum width of twelve (12) feet (back of curb to back of curb) and a minimum of two hundred and sixteen (216) square feet.
8. A minimum of fifteen (15) trees 2 inches or greater in diameter as measured 6 inches above ground per disturbed acre.
9. For recommended Plant List see "Landscape" T-10.4.

STANDARD DETAIL
 LANDSCAPE NOTES
 DATE: APRIL, 2008
 DRAWN BY: JSR
 CHECKED BY: B.P., P.E.
 SCALE: NOT TO SCALE
 CITY OF WILMINGTON
 NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807
 SD 15-14

STIPULATION FOR REUSE

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TAKE 5 OIL CHANGE
 Wilmington - Market T5, LLC
 4440 Market Street
 Wilmington, NC 28403

MODIFICATION LOG

NO.	DATE	DESCRIPTION

JOB NUMBER: C180043
 CHECKED BY: CT
 DRAWN BY: CDA
 DATE: 11-12-2018

1888-C-3886 # FRM
AMERICAN Engineering
 American Engineering Associates - Southeast, P.A.
 8008 Corporate Center Dr - Suite 110
 Charlotte, NC 28226
 704-375-2438

LANDSCAPE NOTES AND DETAILS

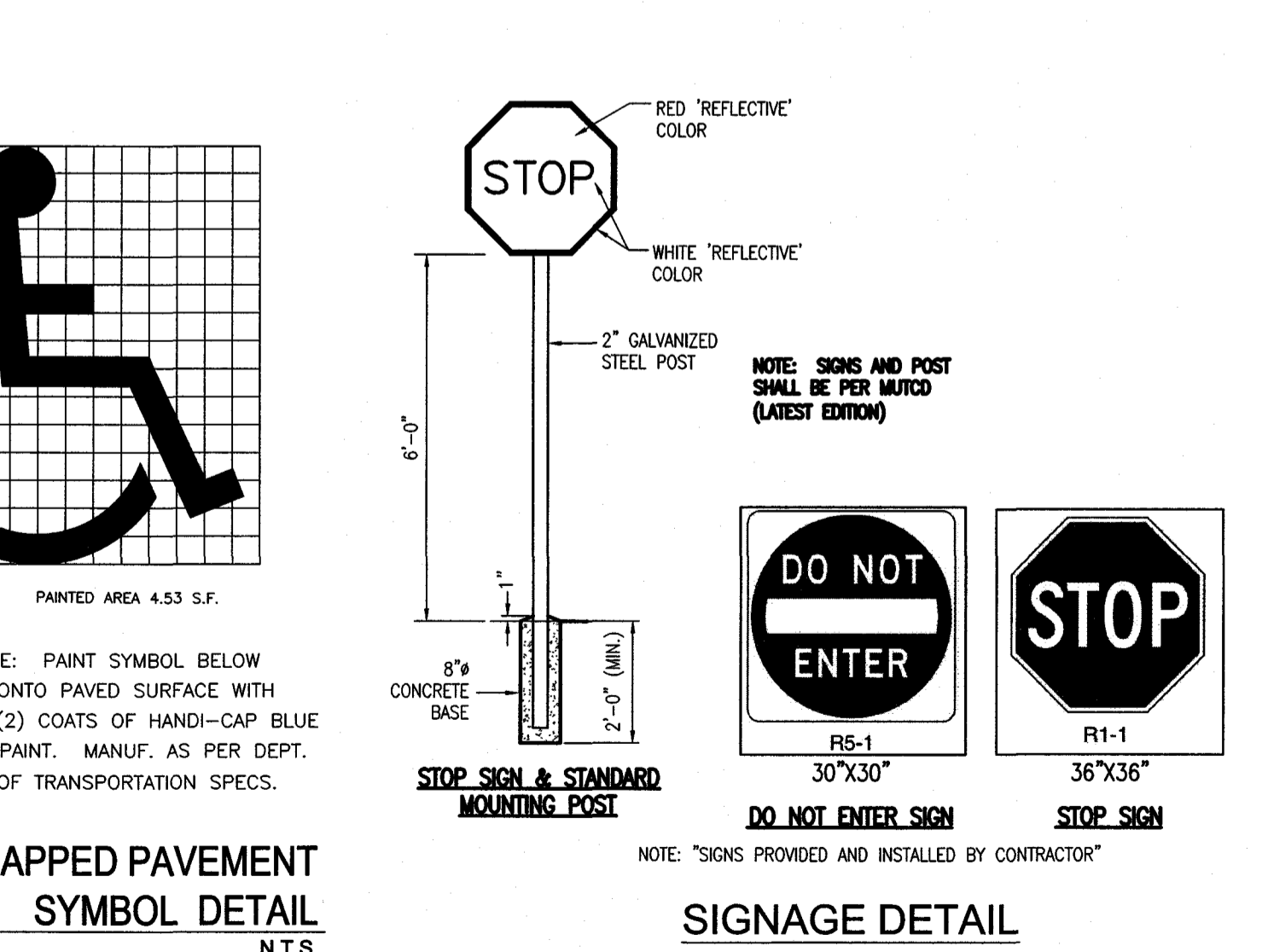
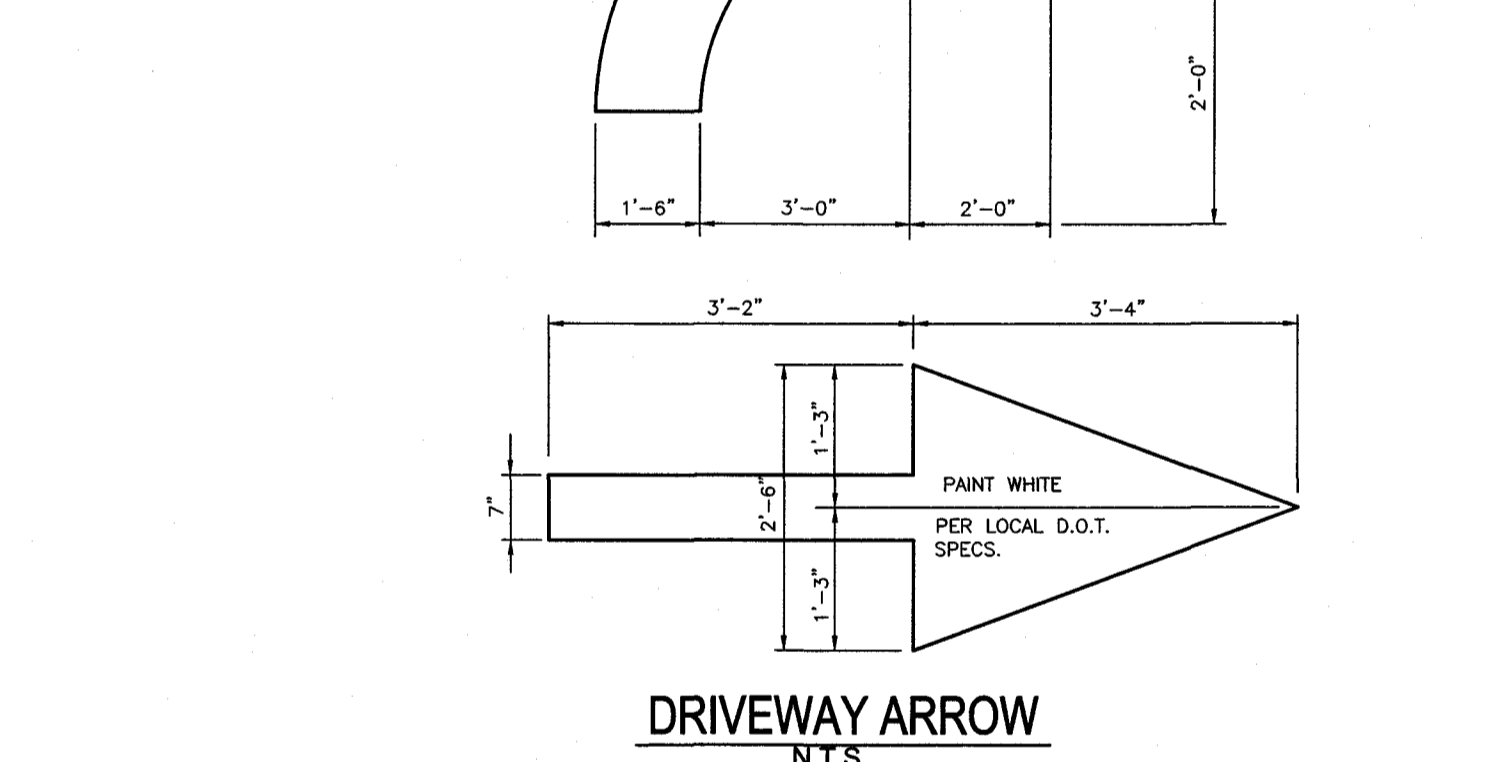
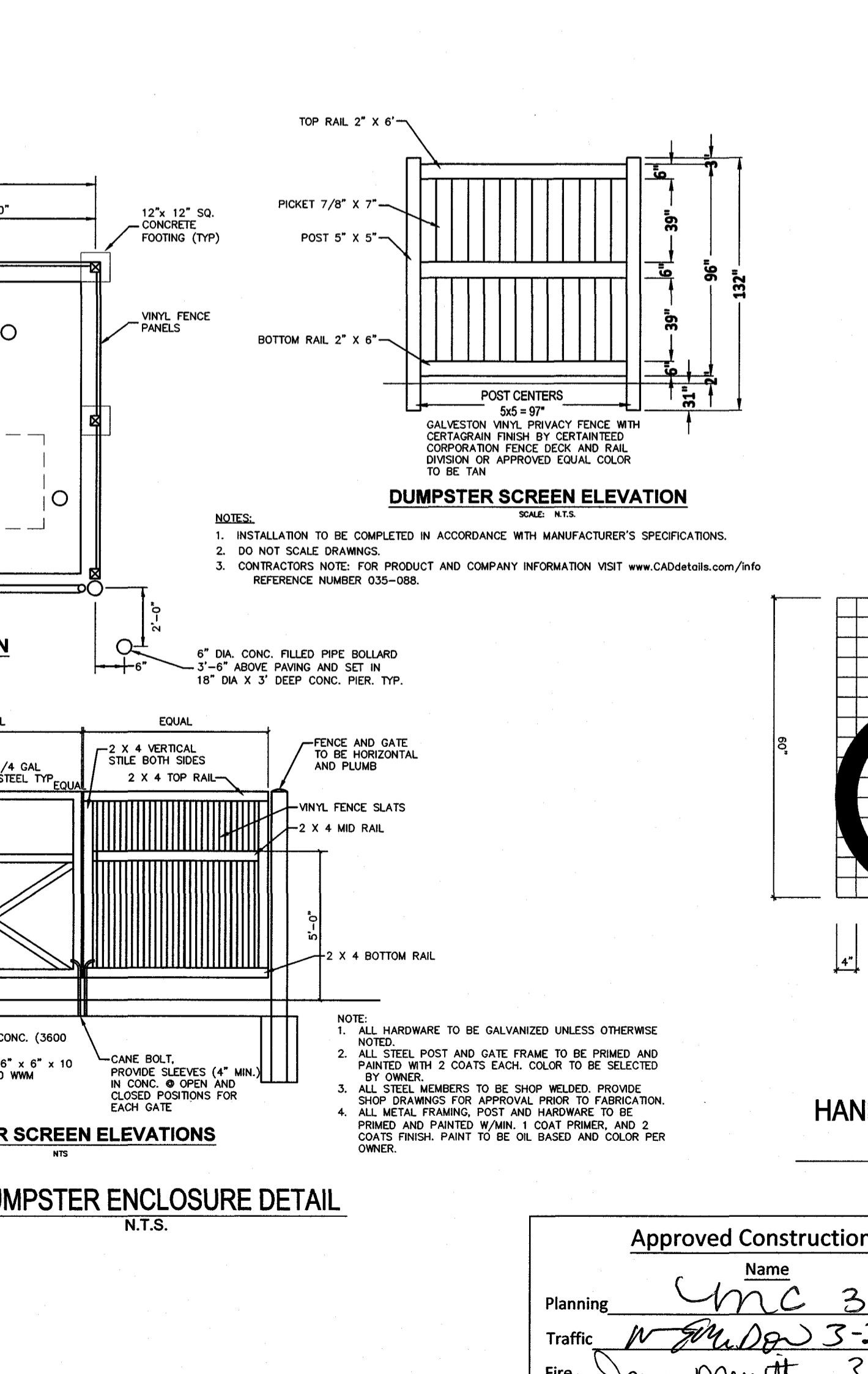
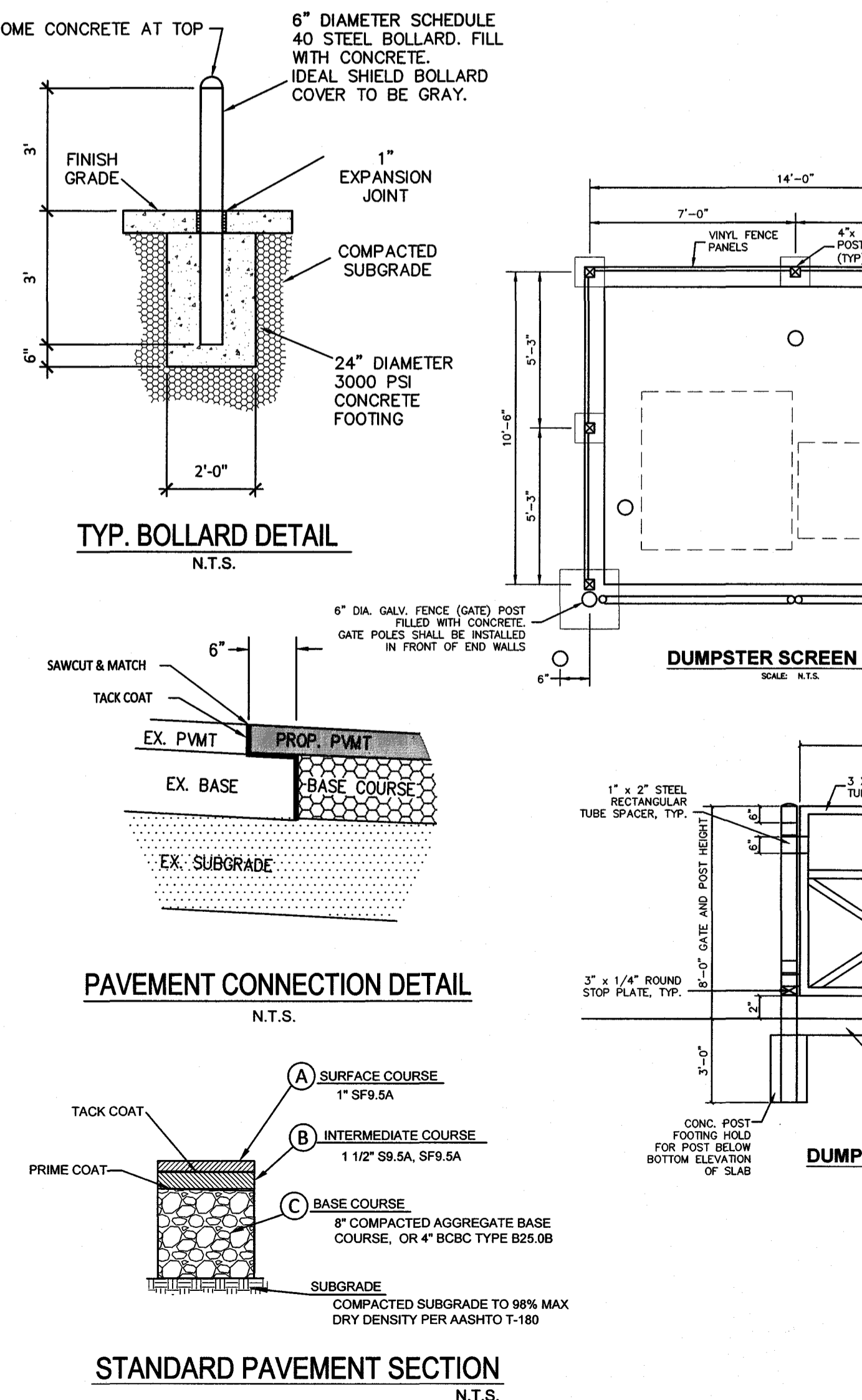
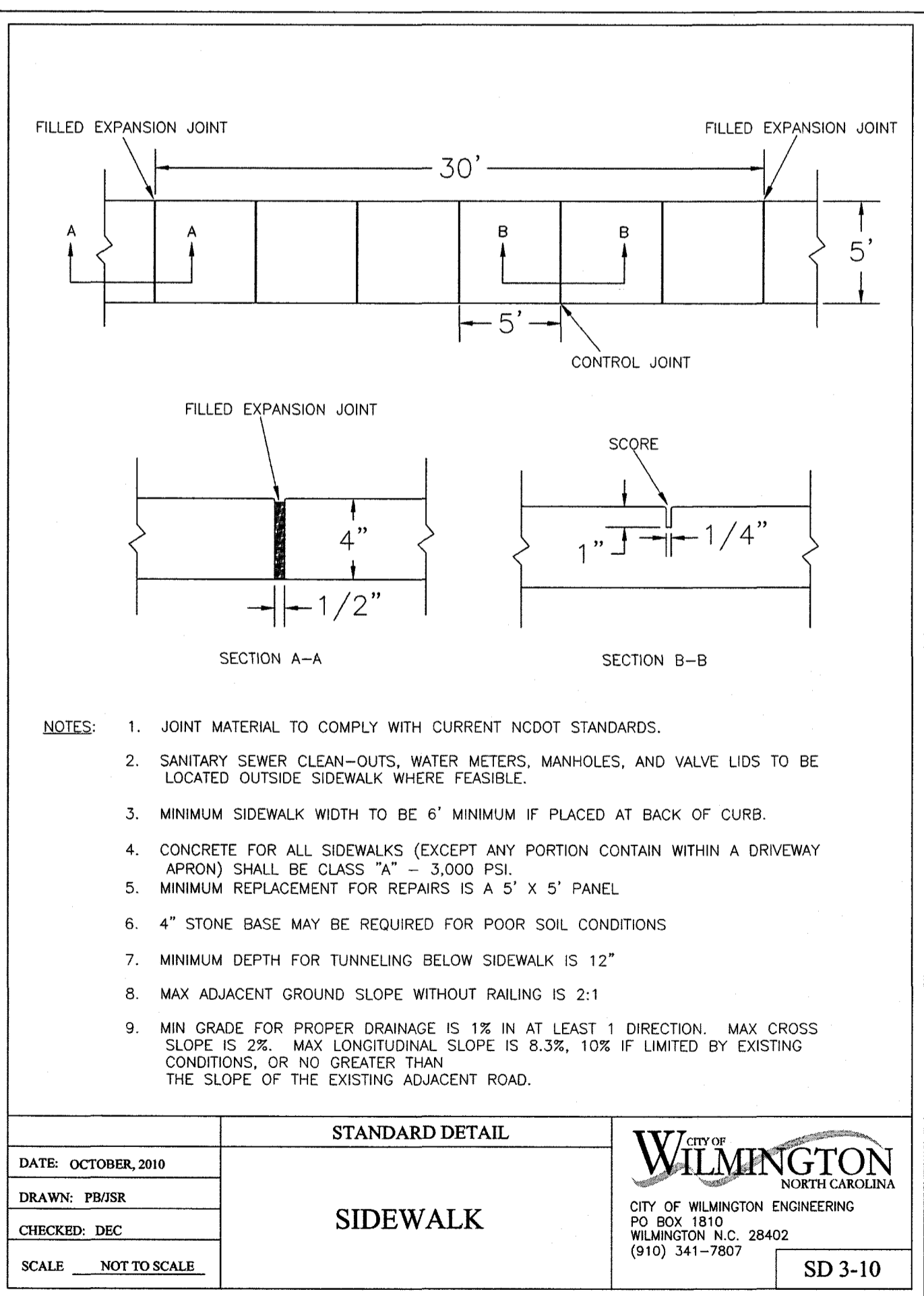
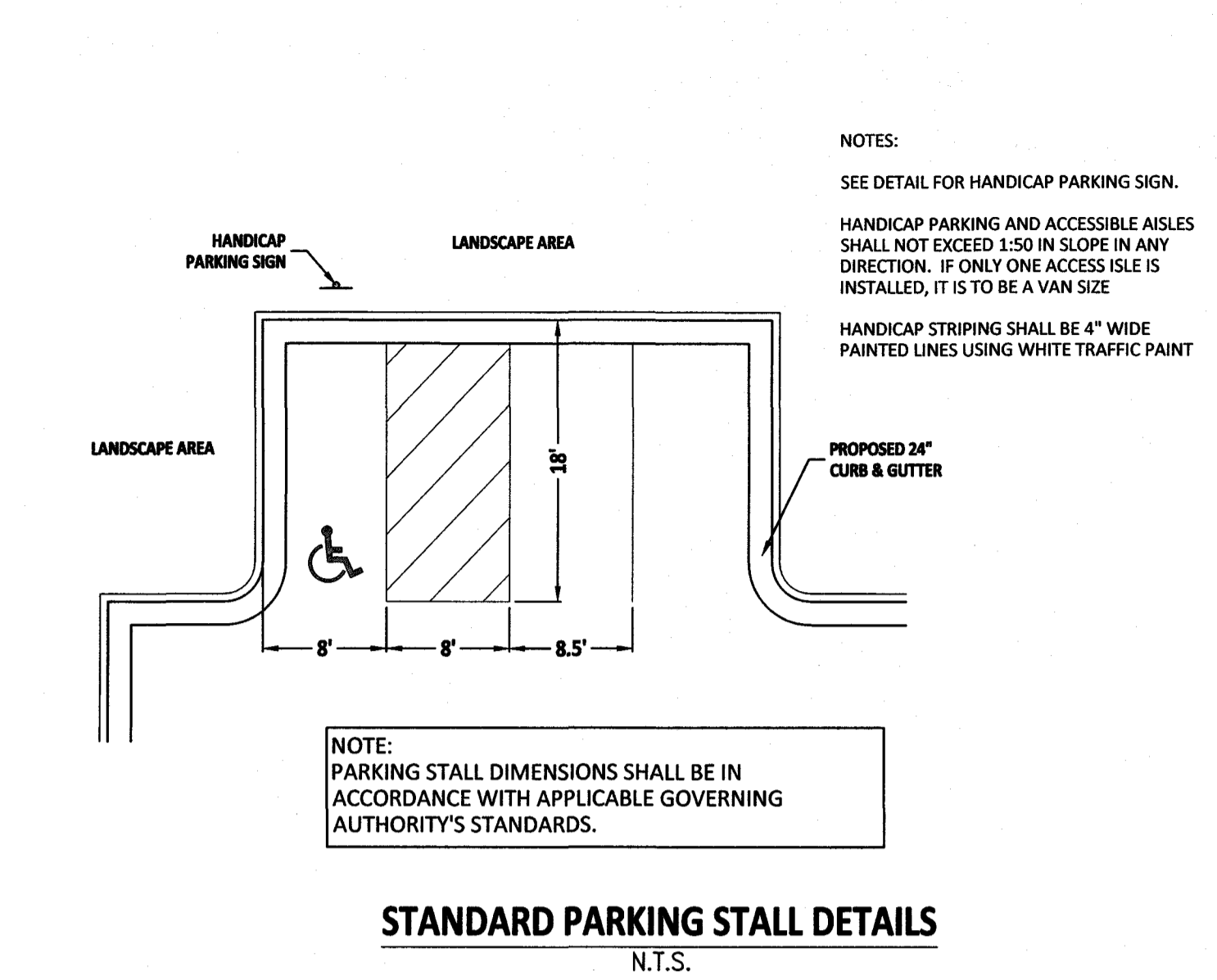
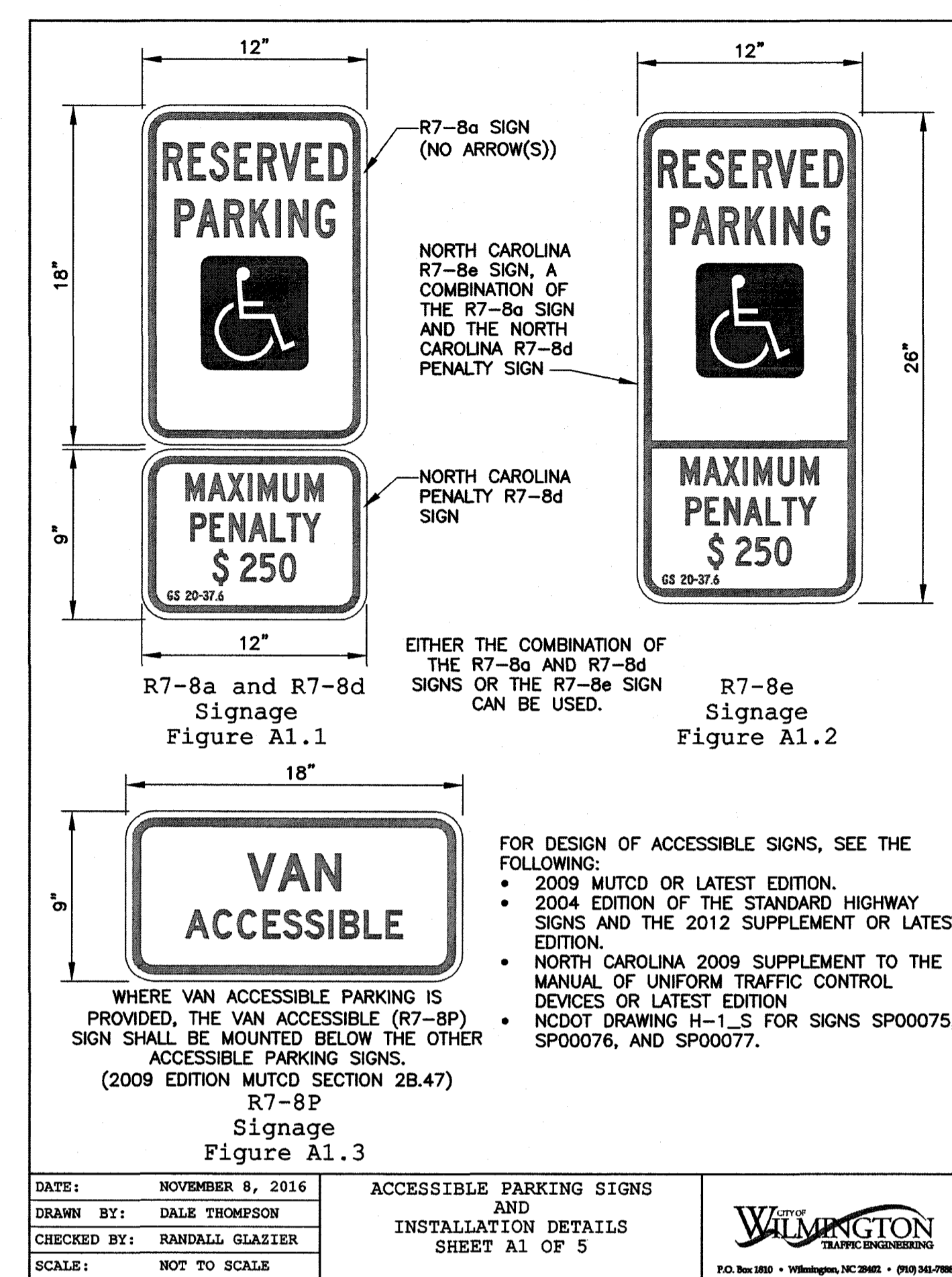
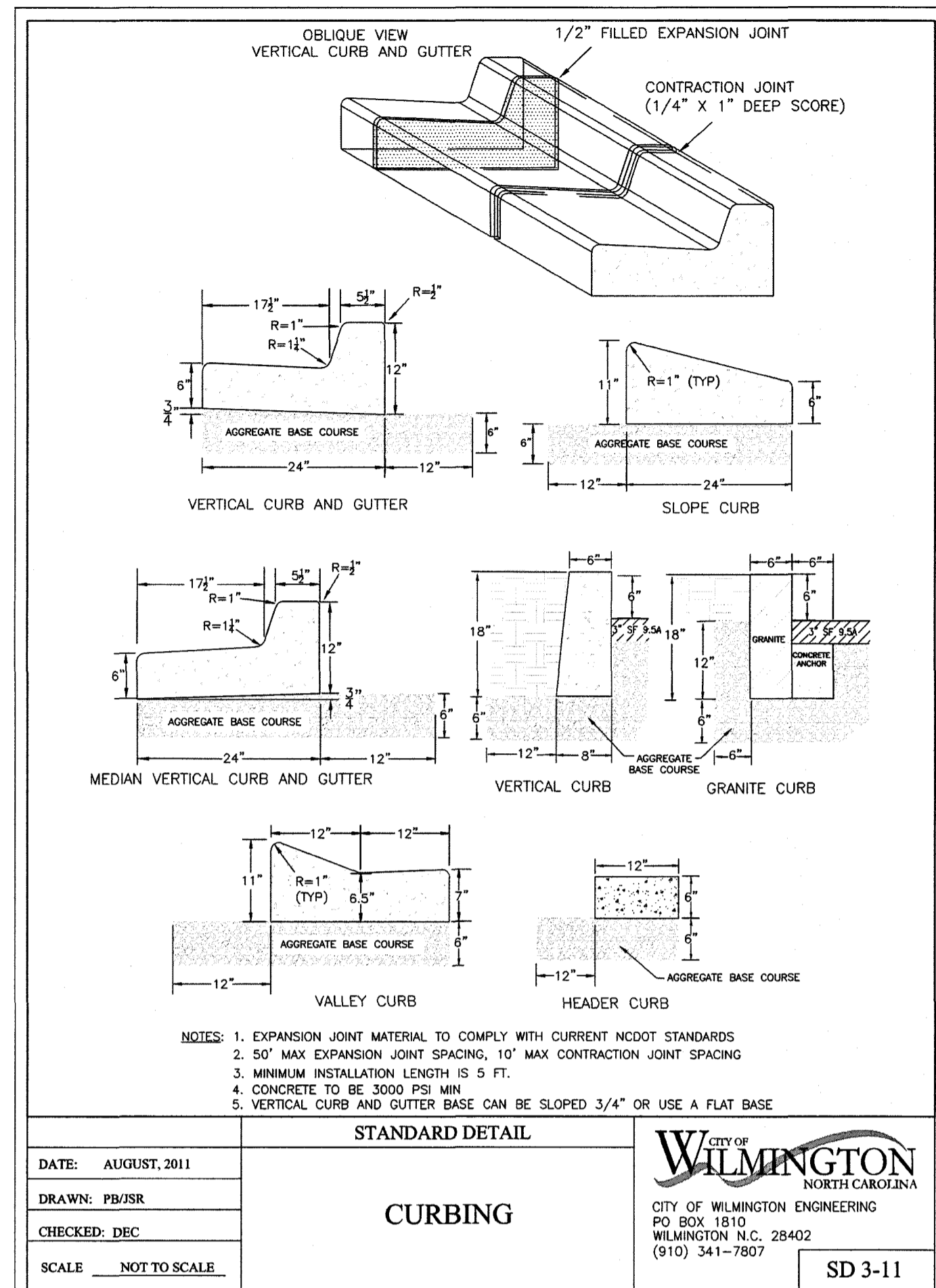
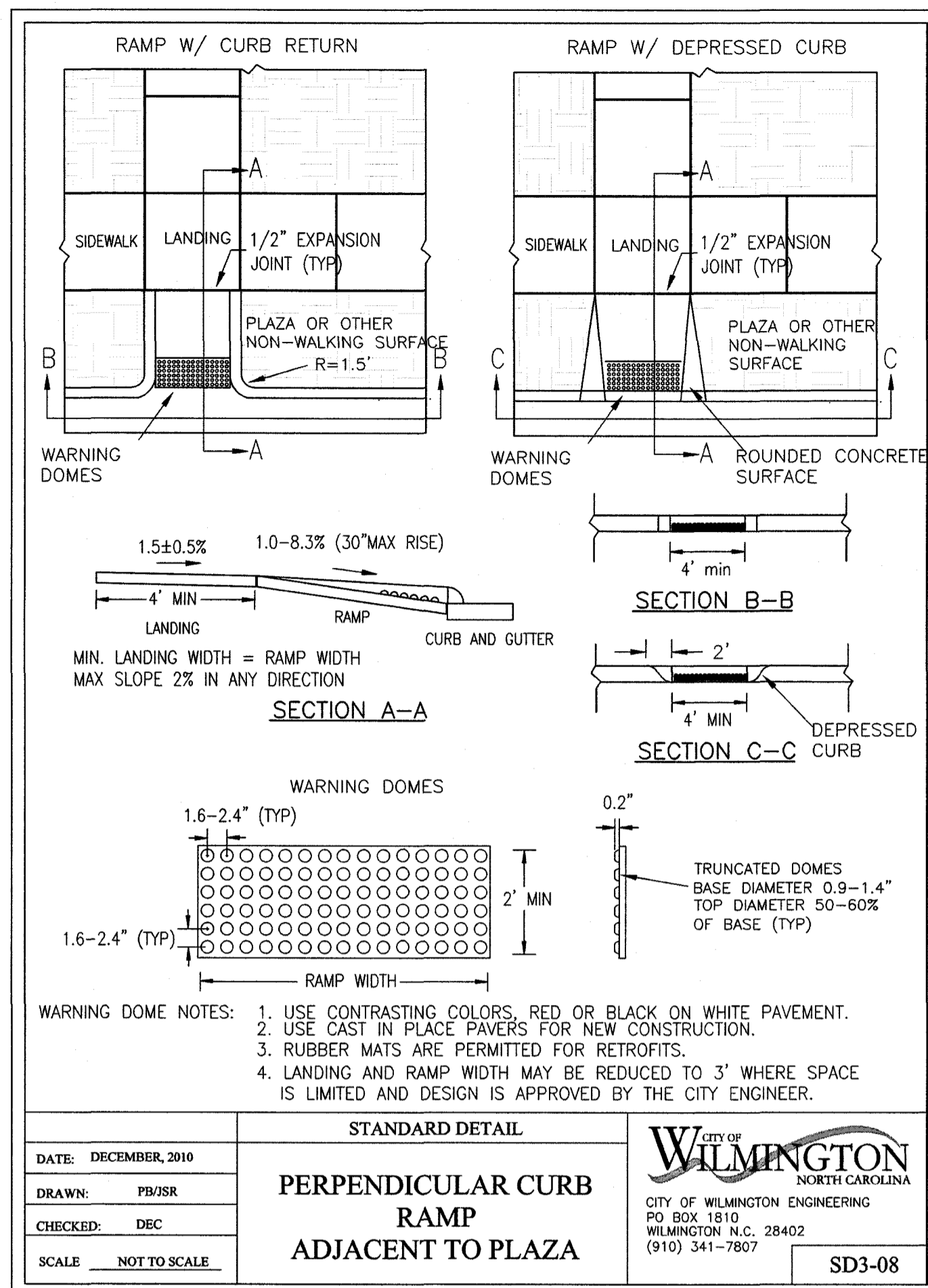
SHEET: **C7.1**

Approved Construction Plan
 Name: YMC Date: 3-27-2019
 Planning: YMC 3-27-2019
 Traffic: W. Meadows 3-29-19
 Fire: James Meredith 3-28-19

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: 3/28/19 Permit #: 2019 018
 Signed: Fred Christian

North Carolina
 33046
 1-8-19
 *** 3 Days Before Digging ***
 North Carolina 811
 811 or 1-800-632-4949
 Remote Ticket Entry
 http://nc811.org/remoteticketentry.htm

NORTH CAROLINA
 33046
 1-8-19
 BARRY M. FAY



Approved Construction Plan

Name: *cmc* Date: *3-27-2019*

Planning: *W. McD...* 3-29-19

Traffic: *James Merritt* 3-28-19

Fire: *James Merritt* 3-28-19

Signature: *[Signature]*

Approved Construction Plan

Name: *cmc* Date: *3-27-2019*

Planning: *W. McD...* 3-29-19

Traffic: *James Merritt* 3-28-19

Fire: *James Merritt* 3-28-19

Signature: *[Signature]*

Approved Construction Plan

Name: *cmc* Date: *3-27-2019*

Planning: *W. McD...* 3-29-19

Traffic: *James Merritt* 3-28-19

Fire: *James Merritt* 3-28-19

Signature: *[Signature]*

Approved Construction Plan

Name: *cmc* Date: *3-27-2019*

Planning: *W. McD...* 3-29-19

Traffic: *James Merritt* 3-28-19

Fire: *James Merritt* 3-28-19

Signature: *[Signature]*

STIPULATION FOR REUSE

THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE, 4412 MARKET ST., WILMINGTON, NC 28402. IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. THE USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

TAKE 5 OIL CHANGE
 Wilmington - Market T5, LLC
 4440 Market Street
 Wilmington, NC 28403

MODIFICATION LOG

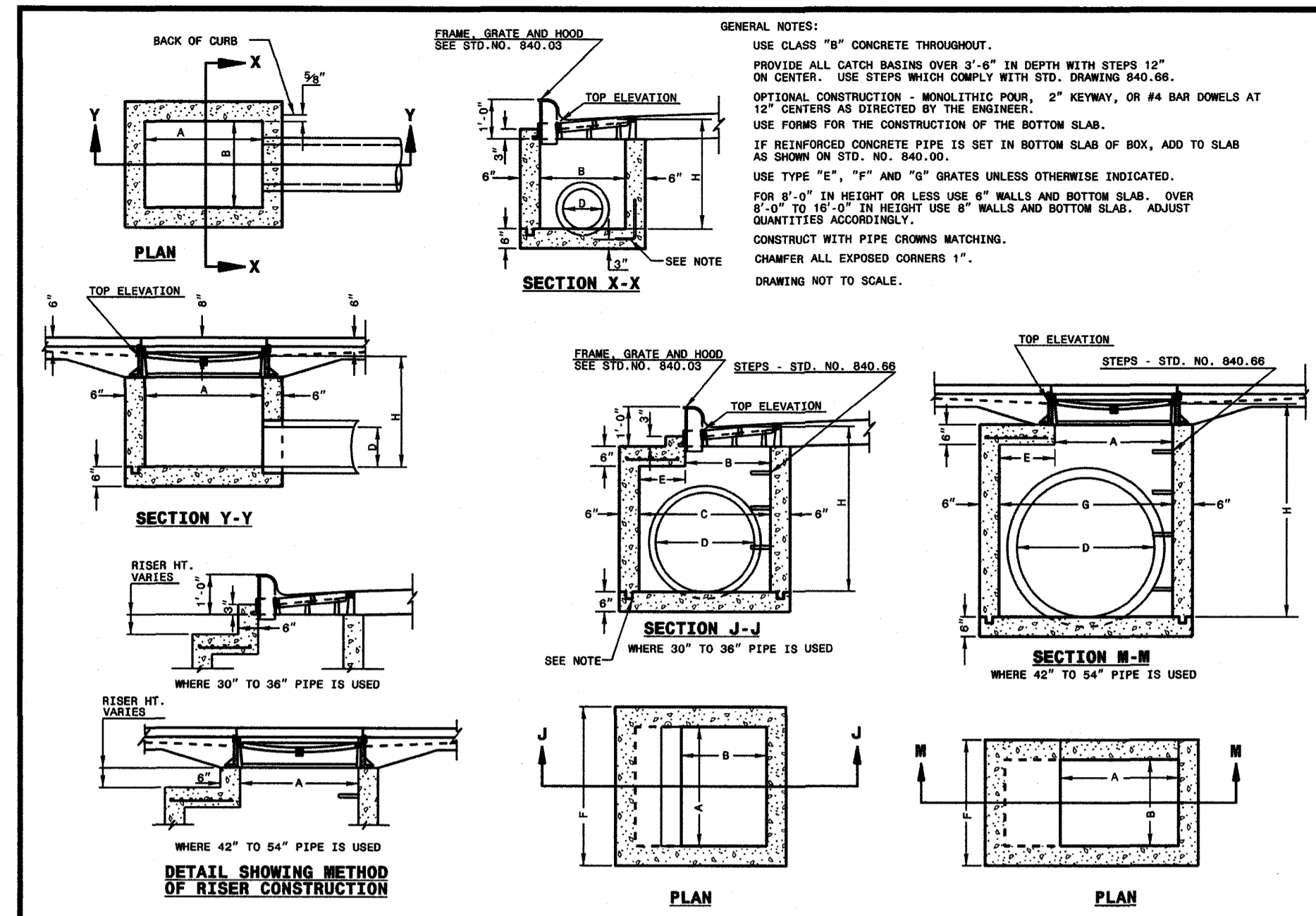
NO.	DATE	DESCRIPTION

JOB NUMBER: C180043
 CHECKED BY: CT
 DRAWN BY: CDA
 DATE: 11-12-2018

AMERICAN Engineering Associates
 Southeast, P.A.
 American Engineering Associates
 8008 Co. Center Dr - Suite 110
 Charlotte, NC 28226
 FIRM # WRM-C-389E
 704-375-2438

SITE DETAILS

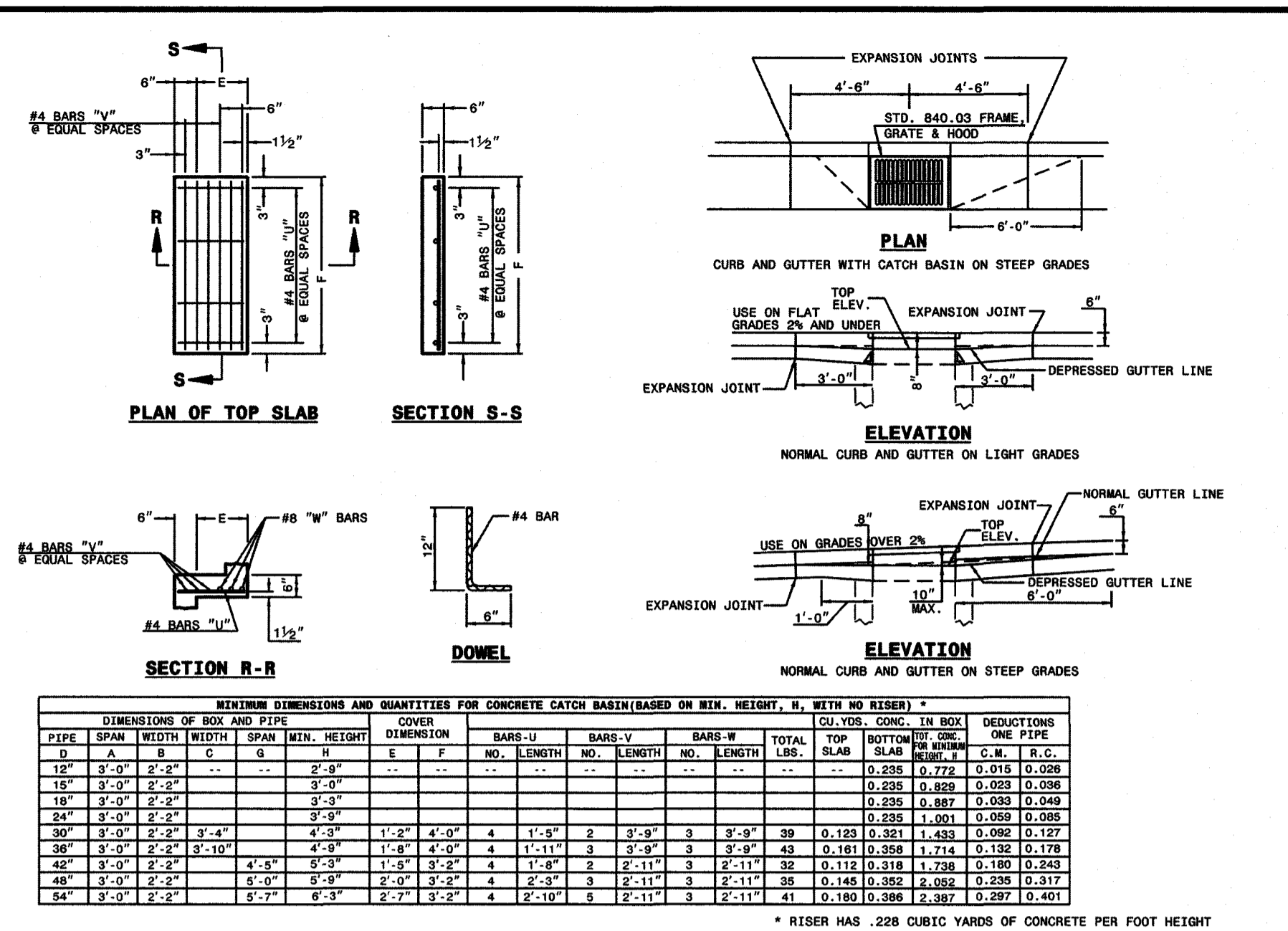
SHEET: **C8.0**



STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CONCRETE CATCH BASIN
12" THRU 54" PIPE

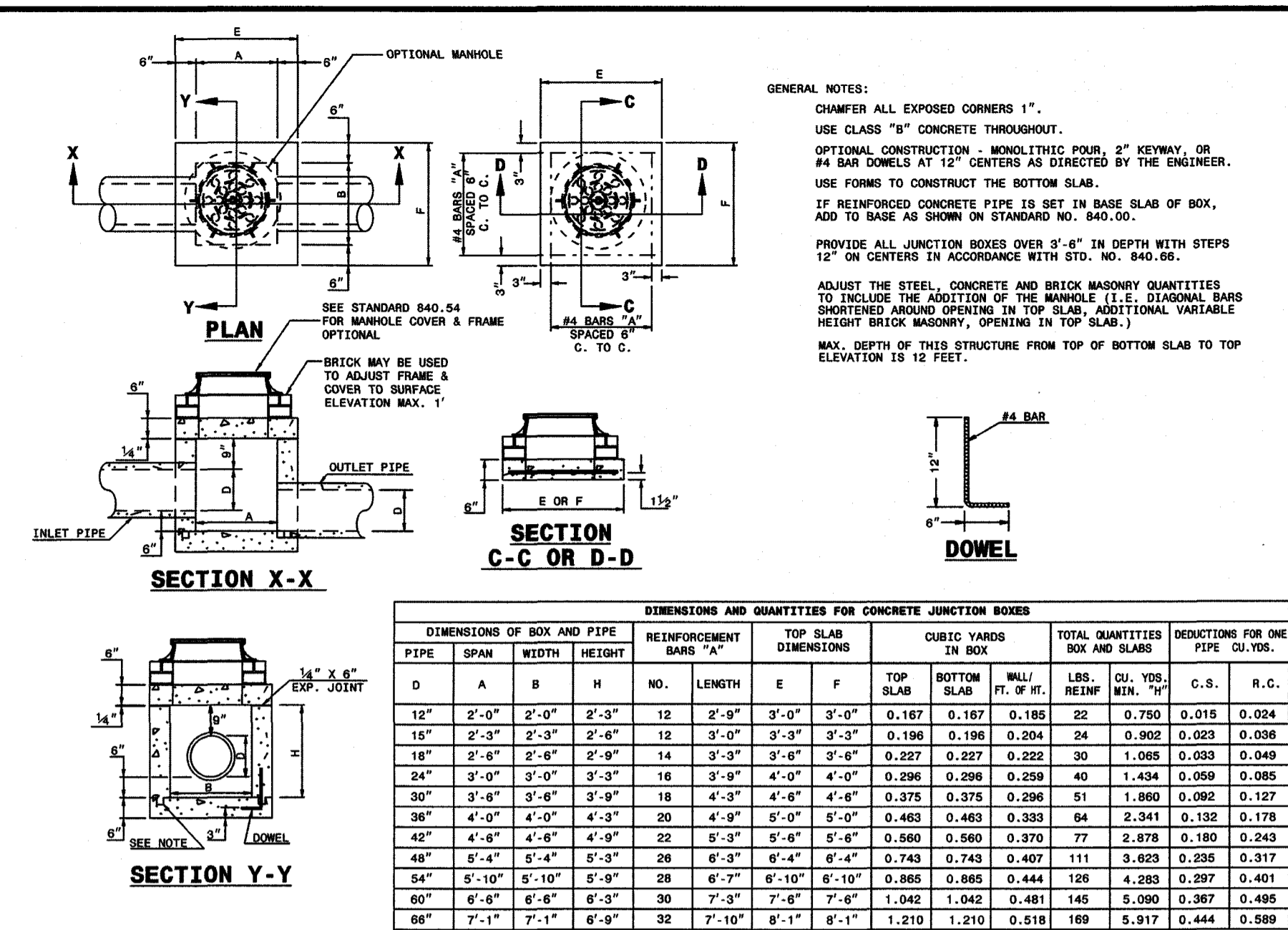
SHEET 1 OF 2
840.02



STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CONCRETE CATCH BASIN
12" THRU 54" PIPE

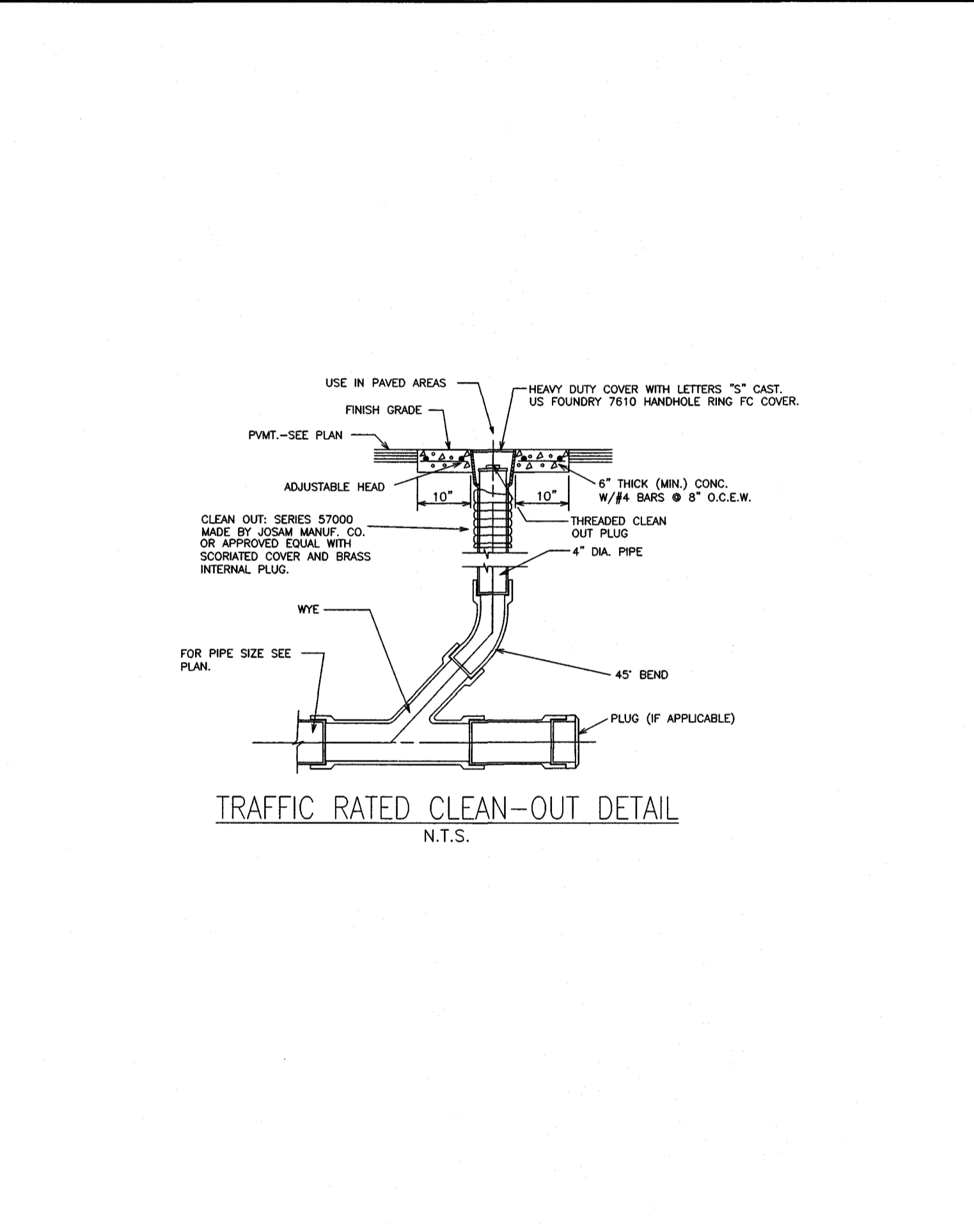
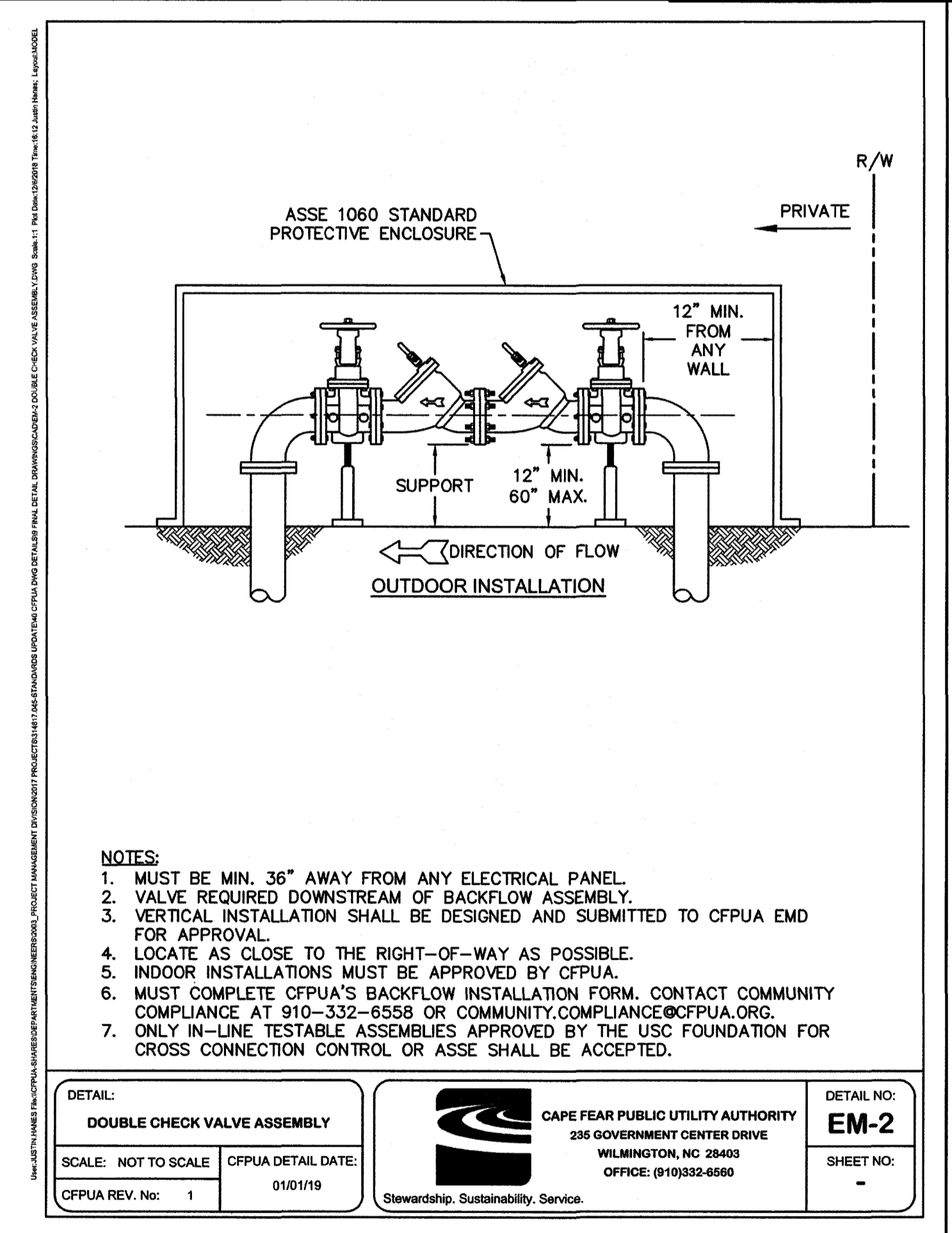
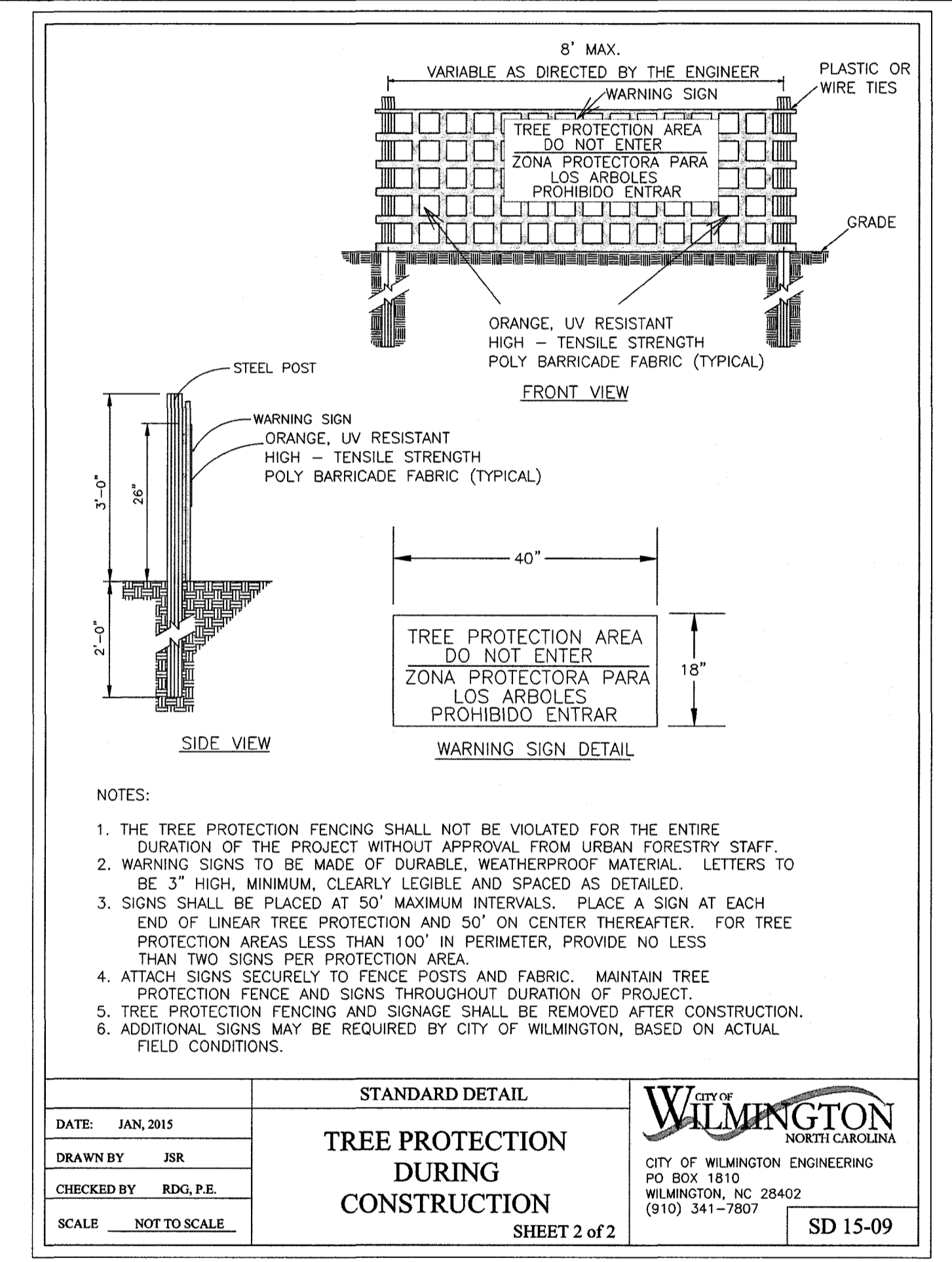
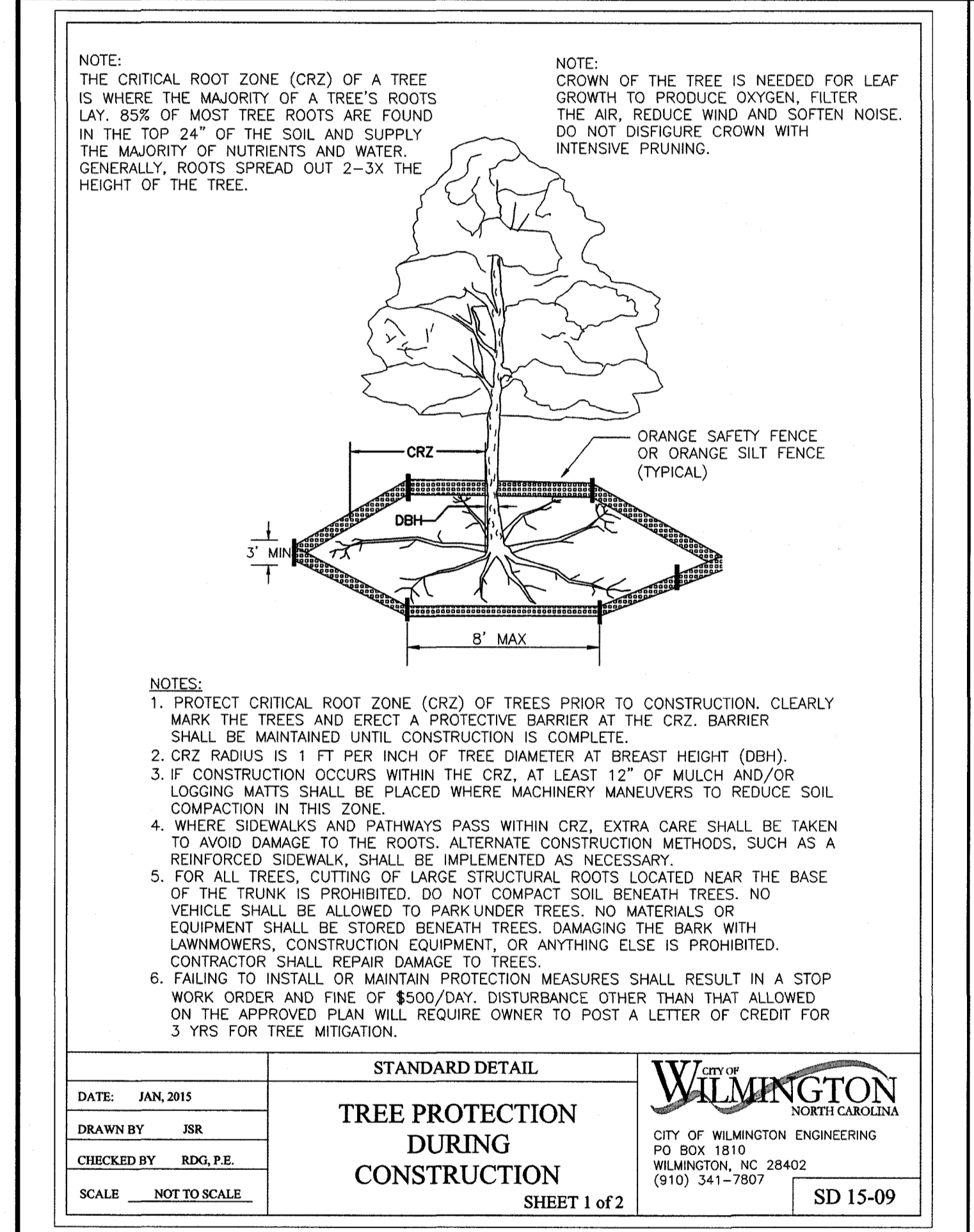
SHEET 2 OF 2
840.02



STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CONCRETE JUNCTION BOX
(WITH OPTIONAL MANHOLE)
12" THRU 66" PIPE

SHEET 1 OF 1
840.31



STIPULATION FOR REUSE

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TAKE 5 OIL CHANGE
Wilmington - Market T5, LLC
4440 Market Street
Wilmington, NC 28403

MODIFICATION LOG

NO.	DATE	DESCRIPTION

JOB NUMBER: C180043
CHECKED BY: CT
DRAWN BY: CDA
DATE: 11-12-2018

AMERICAN Engineering Associates, Inc.
1704-375-2438
Charlotte, NC 28226

SITE AND UTILITY DETAILS

SHEET: C8.1

DATE: JAN, 2015
DRAWN BY: JSR
CHECKED BY: RDG, P.E.
SCALE: NOT TO SCALE

STANDARD DETAIL
TREE PROTECTION DURING CONSTRUCTION
SHEET 1 of 2
SD 15-09

CITY OF WILMINGTON
NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

DATE: JAN, 2015
DRAWN BY: JSR
CHECKED BY: RDG, P.E.
SCALE: NOT TO SCALE

STANDARD DETAIL
TREE PROTECTION DURING CONSTRUCTION
SHEET 2 of 2
SD 15-09

CITY OF WILMINGTON
NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

DATE: 01/10/19
SCALE: NOT TO SCALE
CFPUA REV. NO: 1

DOUBLE CHECK VALVE ASSEMBLY
CFPUA DETAIL DATE: 01/10/19

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

DETAIL NO: EM-2
SHEET NO: 1

Stewardship. Sustainability. Service.

Approved Construction Plan

Name: YMC Date: 3-22-2019

Planning: YMC 3-22-2019

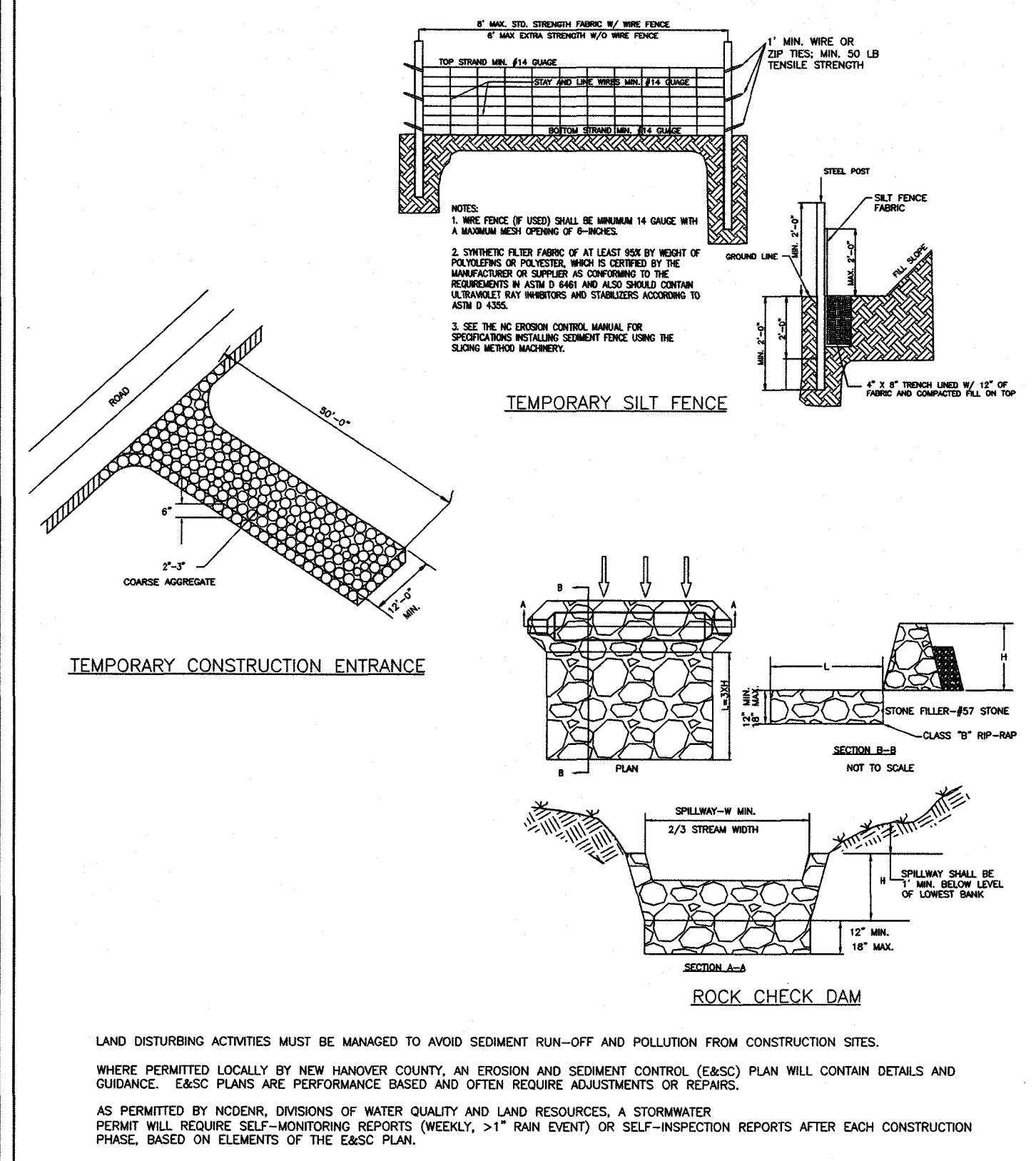
Traffic: W. S. ... 3-22-19

Fire: James Bennett 3-28-19

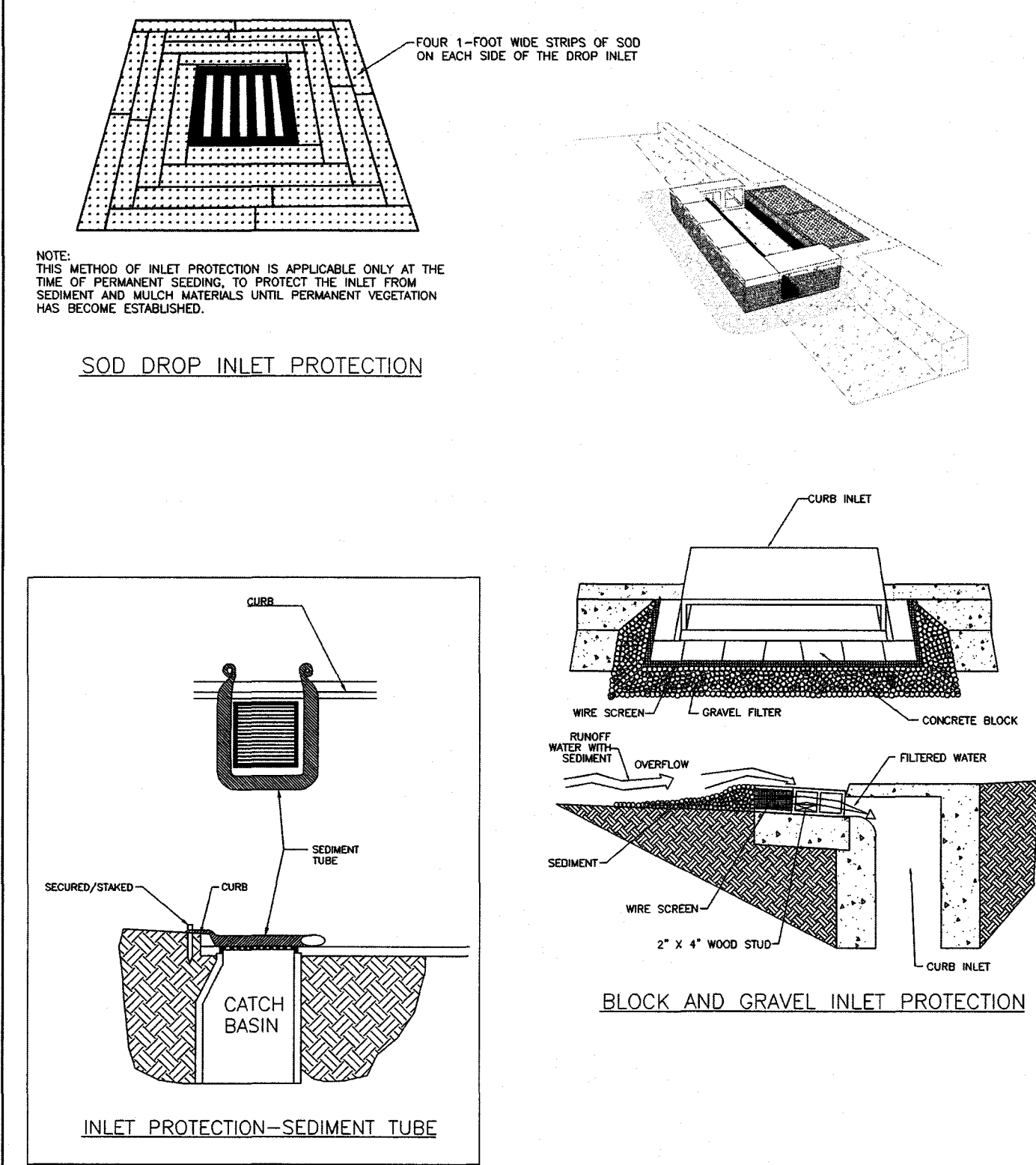
WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 3/28/19 Permit #: 2019018
Signed: Rich Chastain

North 811
www.811.org
33046 3-11-19
3 Days Before Digging
North Carolina 811
811 or 1-800-632-4949
Remote Ticket Entry
http://nc811.org/remoteticketentry.htm

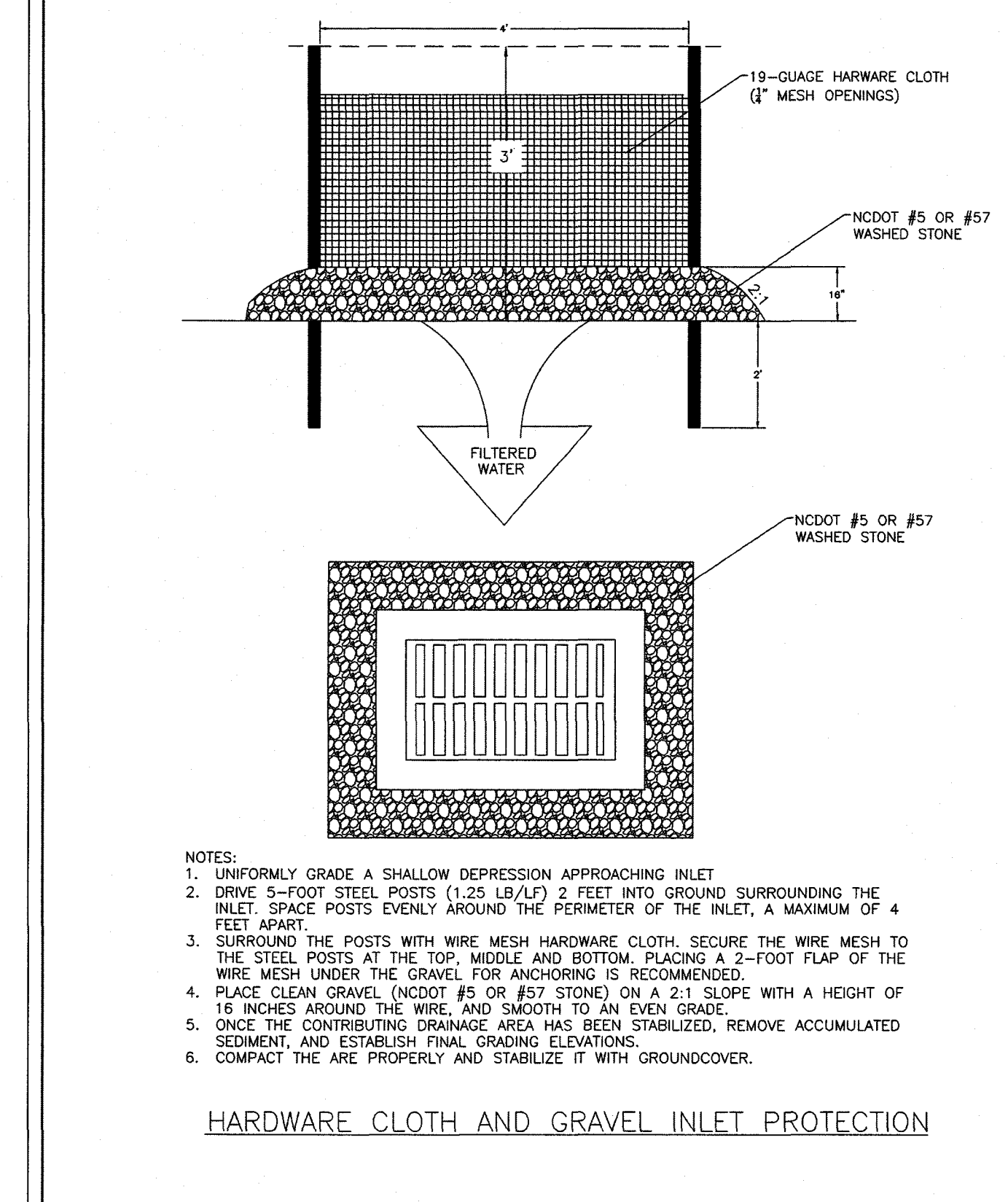
NORTH CAROLINA
33046
3-11-19
BENNY M. FAY



DATE: SEPTEMBER, 2012	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>	SD 3-104
DRAWN BY JSR	GUIDELINES FOR		
CHECKED BY DEC. P.E.	SEDIMENT CONTROL BMPs		
SCALE NOT TO SCALE	SHEET 1 OF 3		



DATE: MAY, 2018	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>	SD 3-104
DRAWN BY JSR	GUIDELINES FOR		
CHECKED BY DEC. P.E.	SEDIMENT CONTROL BMPs		
SCALE NOT TO SCALE	SHEET 2 OF 3		



DATE: MAY, 2018	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>	SD 3-104
DRAWN BY JSR	GUIDELINES FOR		
CHECKED BY DEC. P.E.	SEDIMENT CONTROL BMPs		
SCALE NOT TO SCALE	SHEET 3 OF 3		

STIPULATION FOR REUSE

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TAKE 5 OIL CHANGE
 Wilmington - Market T5, LLC
 4440 Market Street
 Wilmington, NC 28403

MODIFICATION LOG

JOB NUMBER: C180043
 CHECKED BY: CT
 DRAWN BY: CDA
 DATE: 11-12-2018

AMERICAN Engineering
 American Engineering Associates - Southeast, P.A.
 6008 Corporate Center Dr., Suite 110
 Charlotte, NC 28226
 704-375-2438

EROSION CONTROL DETAILS

SHEET: **C8.2**

Approved Construction Plan

Name	Date
Planning <i>YMC</i>	3.27.2019
Traffic <i>W. Edwards</i>	3-29-19
Fire <i>Jamie</i>	3.28.19

Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: 3/29/19 Permit #: 2019018
 Signed: *Barry M. Fry*

*** 3 Days Before Digging ***
 North Carolina 811
 811 or 1-800-652-4949
 Remote Ticket Entry
<http://nc811.org/remoteticketentry.htm>

Barry M. Fry
 Professional Engineer
 License No. 33046
 Expiration 1-8-19